

DESIGN LOADS

STRUCTURAL MEMBERS HAVE BEEN DESIGNED FOR FULL DEAD LOADS AND THE FOLLOWING LIVE LOADS IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE w/ NEW YORK DEPARTMENT OF STATE 2011 SUPPLEMENT:

1. BUILDING CATEGORY: II
2. IMPORTANCE FACTOR:
WIND (I_w) = 1.0;
SNOW (I_s) = 1.0
SEISMIC (I_e) = 1.0
3. GROUND SNOW LOAD: 20 PSF
4. ROOF LIVE LOAD: 20 PSF
5. LIVING AREA LIVE LOAD: 40 PSF
6. SLEEPING AREA LIVE LOAD: 30 PSF
7. WIND LOAD:
Vult = 138 MPH
WIND EXPOSURE: B
VELOCITY PRESSURE EXPOSURE COEFFICIENT, K_Z 0.85
DIRECTIONALITY FACTOR, K_d: 0.85
GUST EFFECT FACTOR, G: 0.85
INTERNAL PRESSURE COEFFICIENT, GCPI: ±0.18

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD (PSF)	20
WIND SPEED (MPH)	138
WIND TEMPERATURE EFFECTS	NO
SPECIAL WIND REGION	YES
SEISMIC DESIGN CATEGORY	B
WEATHERING DAMAGE POTENTIAL	SEVERE
TERMITE DAMAGE POTENTIAL	MOD. TO HEAVY
FROST LINE DEPTH DAMAGE POTENTIAL (IN.)	36
WINTER DESIGN TEMPERATURE (DEG.)	15
ICE BARRIER UNDERLAYMENT REQUIREMENT	YES
FLOOD HAZARD	NO
AIR FREEZING INDEX	452
MEAN ANNUAL TEMPERATURE (DEG.)	57.2

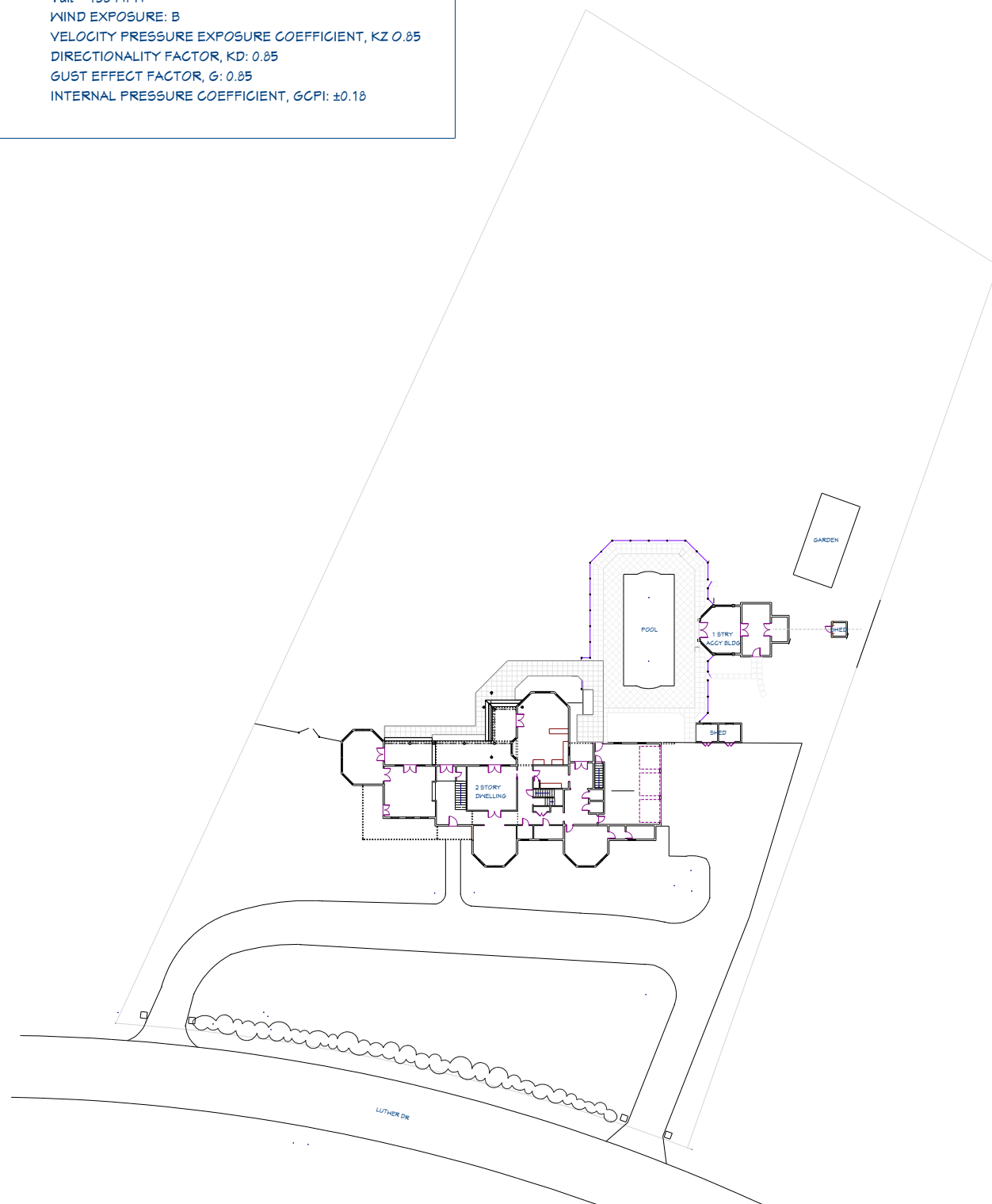
GENERAL NOTES:

- 1 DO NOT SCALE DIMENSIONS OFF DRAWINGS. USE WRITTEN OR CALCULATED DIMENSIONS. ALL CONTRACTORS ARE RESPONSIBLE FOR CHECKING DIMENSIONS BEFORE ESTIMATING, ORDERING OR STARTING WORK.
- 2 ERRORS OR OMISSIONS, IN ANY SCHEDULE OR DRAWING MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY.
- 3 ANY DISCREPANCIES FOUND IN THE PLANS, DIMENSIONS, EXISTING CONDITIONS OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING ANY PRODUCT, MATERIAL OR METHOD OF ASSEMBLY MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY. A WRITTEN ADDENDUM SHALL BE ISSUED AS NECESSARY AND SHALL BECOME A PART OF THE CONTRACT DOCUMENTS THEREIN.
- 4 DIMENSIONS AND DETAILS OF EXISTING CONSTRUCTION GIVEN IN DRAWINGS ARE APPROXIMATE AND ARE BASED ON LIMITED INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATIONS AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY.
- 5 OPENINGS SHALL NOT BE MADE IN ANY STRUCTURAL MEMBER UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE ENGINEER.
- 6 ALL EXTERIOR EXPOSED WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO ASSURE WEATHER TIGHT CONDITION.
- 7 ALL WORK SHALL CONFORM TO CODES, ORDINANCES, REGULATIONS AND REQUIREMENTS OF LOCAL, COUNTY, STATE, NATIONAL BUILDING SAFETY CODES AND OTHER AGENCIES AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- 8 NO NOTE OR LACK THEREOF SHALL BE CONSTRUED AS RELIEVING ANY CONTRACTOR FROM EXECUTING ALL WORK IN CONFORMANCE AS NOTED ABOVE.
- 9 THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ACTS OF OMISSION OF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR OR AGENTS OR ANY OTHER PERSONS PERFORMING THE WORK.
- 10 THE GENERAL CONTRACTOR IS TO SUPPLY SAMPLES OF ALL MATERIAL FINISHES AND COLORS FOR FINAL APPROVAL BY THE OWNER PRIOR TO INSTALLATION.
- 11 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TRADES WITH EACH OTHER TO AVOID CONFLICTS RESULTING FROM THE LOCATION OF SUPPLY LINES AND EQUIPMENT TO SATISFY THE OVERALL DESIGN OF THE PROJECT.
- 12 ALL CONTRACTORS SHALL BEAR THE TOTAL EXPENSE FOR AND SHALL REPAIR, TO EXISTING CONDITIONS, ANY DAMAGE TO EXISTING CONSTRUCTION, EQUIPMENT OR IMPROVEMENTS.
- 13 ALL CONTRACTORS SHALL BEAR THE TOTAL EXPENSE FOR AND SHALL REPAIR ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES.
- 14 ALL CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL PLANS AND SPECIFICATIONS. IT IS THE RESPONSIBILITY OF ALL TRADES TO COORDINATE THEIR JOBS WITH OTHER TRADES AND PERFORM THEIR JOB IN A WORKPERSON-LIKE MANNER AND ACCORDING TO THE ABOVE SAID BUILDING AND SAFETY CODES.
- 15 ALL CONTRACTORS ARE RESPONSIBLE FOR PROTECTING THE STRUCTURE AND FINISHES DURING CONSTRUCTION, INSTALLATION AND UNTIL FINAL PAYMENT.
- 16 THE INSTALLER SHALL PROVIDE ADEQUATE TEMPORARY BRACING, SHORING & GUYING OF FRAMING AGAINST WIND, CONSTRUCTION LOADS & OTHER TEMPORARY FORCES UNTIL NO LONGER REQUIRED FOR THE SUPPORT OF THE FRAMING.
- 17 ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES AND SAFETY AND SECURITY ON THE JOB SITE. THE DESIGN AND ENGINEERING TEAMS AND ALL THEIR AGENTS AND EMPLOYEES ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND SHALL BE HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY AND ALL CLAIMS, LOSSES, SUITS AND LEGAL ACTION WHATSOEVER ARISING FROM THE PERFORMANCE OF WORK ON THIS PROJECT.

ABBREVIATIONS COMMONLY USED:

- A.F.F. - ABOVE FINISHED FLOOR
- ALUM. - ALUMINUM
- & - AND
- @ - AT
- BLDG. - BUILDING
- CMU - CONCRETE MASONRY UNIT
- CONC. - CONCRETE
- DBL. - DOUBLE
- EA. - EACH
- ELEC. - ELECTRICAL
- E.P.S. - EXPANDED POLYSTYRENE
- EXT. - EXTERIOR
- EXTG. - EXISTING
- F.D. - FLOOR DRAIN
- FT. - FEET
- GA. - GAUGE
- GALV. - GALVANIZED
- GWB - GYPSUM WALL BOARD
- H. - HIGH
- HORZ. - HORIZONTAL
- I.D. - INSIDE DIAMETER
- INSUL. - INSULATION
- INT. - INTERIOR
- L - LENGTH, LONG
- LAV. - LAVATORY
- MACH. - MACHINE
- MAX. - MAXIMUM
- MFR. - MANUFACTURER
- MIN. - MINIMUM
- M.P.H. - MILES PER HOUR
- MTL. - METAL
- NEO. - NEOPRENE
- N.I.C. - NOT IN CONTRACT
- O.C. - ON CENTER
- O.D. - OUTSIDE DIAMETER
- OPP. - OPPOSITE
- PLAS. LAM. - PLASTIC LAMINATE
- PLYWD. - PLYWOOD
- P.S.F. - POUNDS PER SQUARE FOOT
- P.S.I. - POUNDS PER SQUARE INCH
- P.T. - PRESSURE TREATED
- REINF. - REINFORCING
- R.O. - ROUGH OPENING
- RUN. - RUNNER
- SHT. - SHEET
- SHTNG. - SHEATHING
- SIM. - SIMILAR
- S-N-L - SNAP-N-LOCK
- S.M.S. - SHEET METAL SCREW
- SPECS - SPECIFICATIONS
- S.S. - STAINLESS STEEL
- STL. - STEEL
- T&G - TONGUE AND GROOVE
- TYP. - TYPICAL
- U.O.N. - UNLESS OTHERWISE NOTED
- VERT. - VERTICAL
- V.I.F. - VERIFY IN FIELD
- W - WITH
- W.C. - WATER CLOSET
- WD. - WOOD
- W.H. - WATER HEATER
- W/O - WITHOUT
- W.W.F. - WELDED WIRE FABRIC

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Site Plan Scale: 1" = 30'

REV	DATE	DESCRIPTION
1.2	12/14/20	Garden revisions for topo
2.0	12/24/20	Roof Deck
2.1	1/26/21	Roof Deck details
2.2	1/29/21	Roof Deck details
2.3	3/11/21	Roof Deck details
2.4	3/11/21	Glass Rail details

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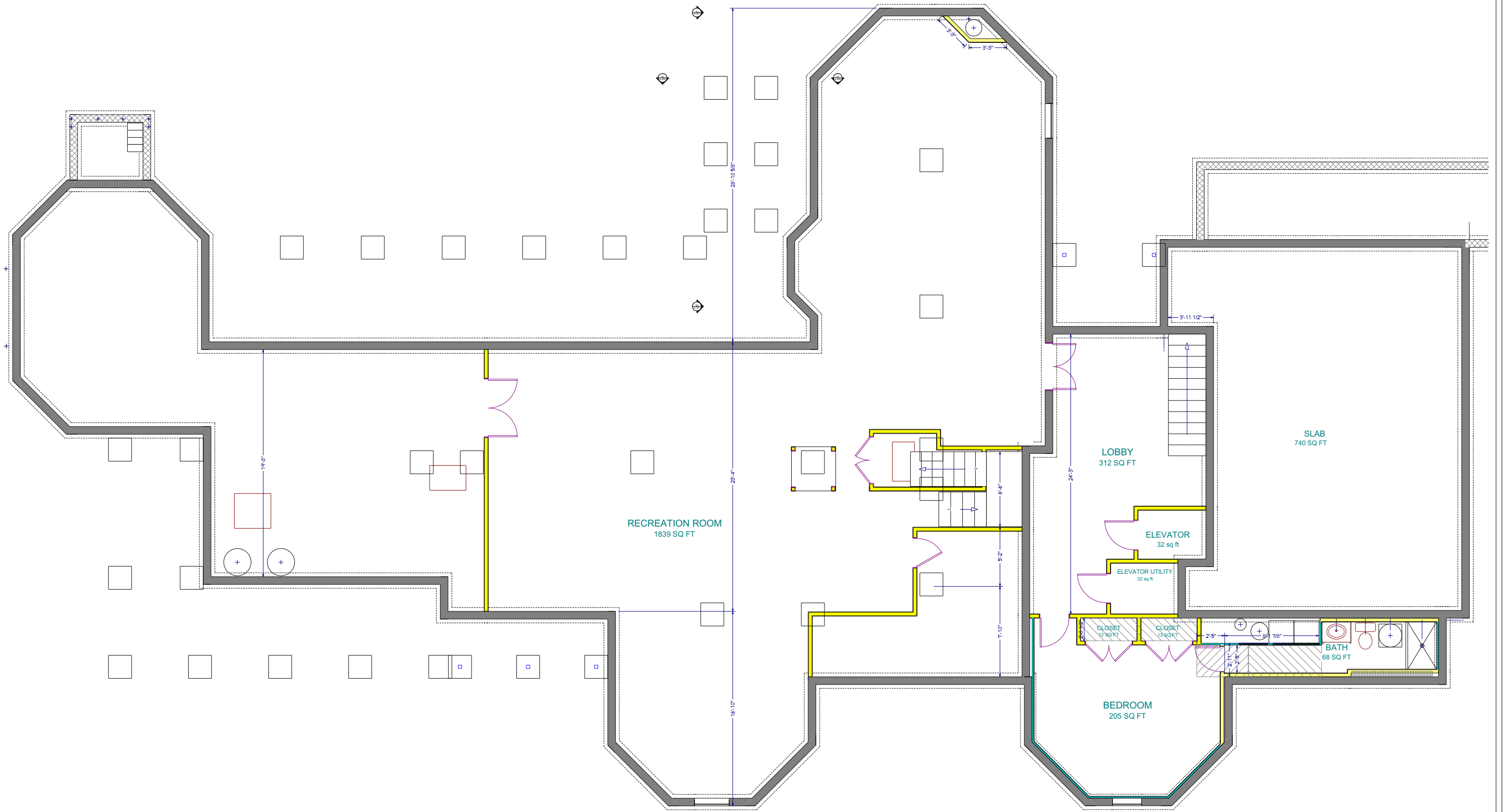
Cohen Residence
 Renovations

Title: **Site Plan and Notes**

DATE: 3/11/2021

SCALE: 1/4" = 1'

SHEET: S-001



Foundation

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

REV	DATE	DESCRIPTION
1.2	12/01/20	General revisions for topo
2.0	12/04/20	Roof Deck
2.1	12/07/21	Roof Deck details
2.2	12/07/21	Roof Deck details
2.3	01/17/21	Roof Deck details
2.4	01/17/21	Glass Rail details

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Cohen Residence
 Renovations

Title:
Foundation Plan

DATE:

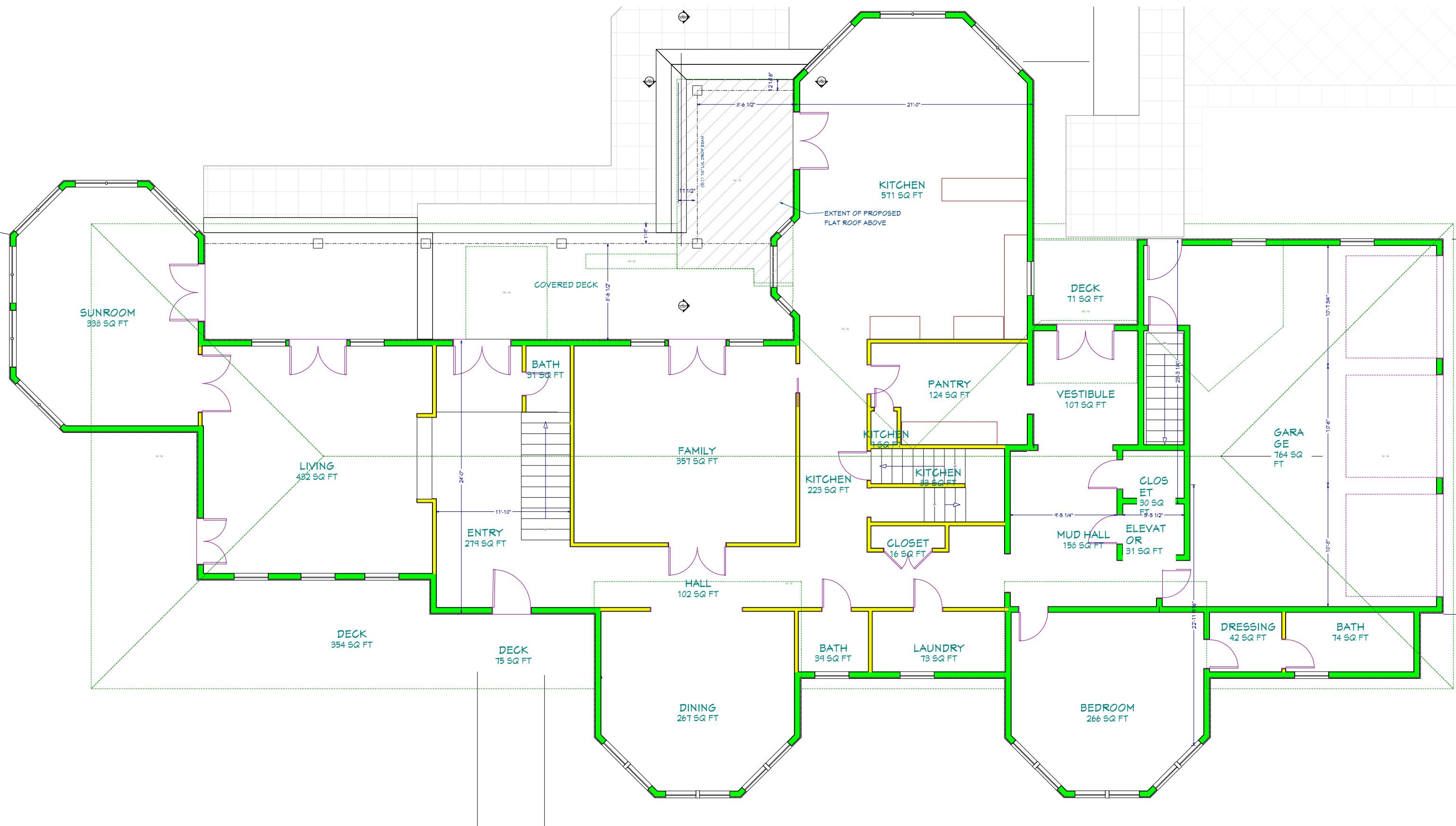
3/11/2021

SCALE:

1/4" = 1'

SHEET:

A-100



1st Floor

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

REV	DATE	DESCRIPTION
1.2	12/4/20	Garden revisions for topo
2.0	12/24/20	Roof Deck
2.1	1/20/21	Roof Deck details
2.2	1/29/21	Roof Deck details
2.3	3/11/21	Roof Deck details
2.4	3/11/21	Glass Rail details

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Cohen Residence
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Title:
First Fl Plan

DATE:

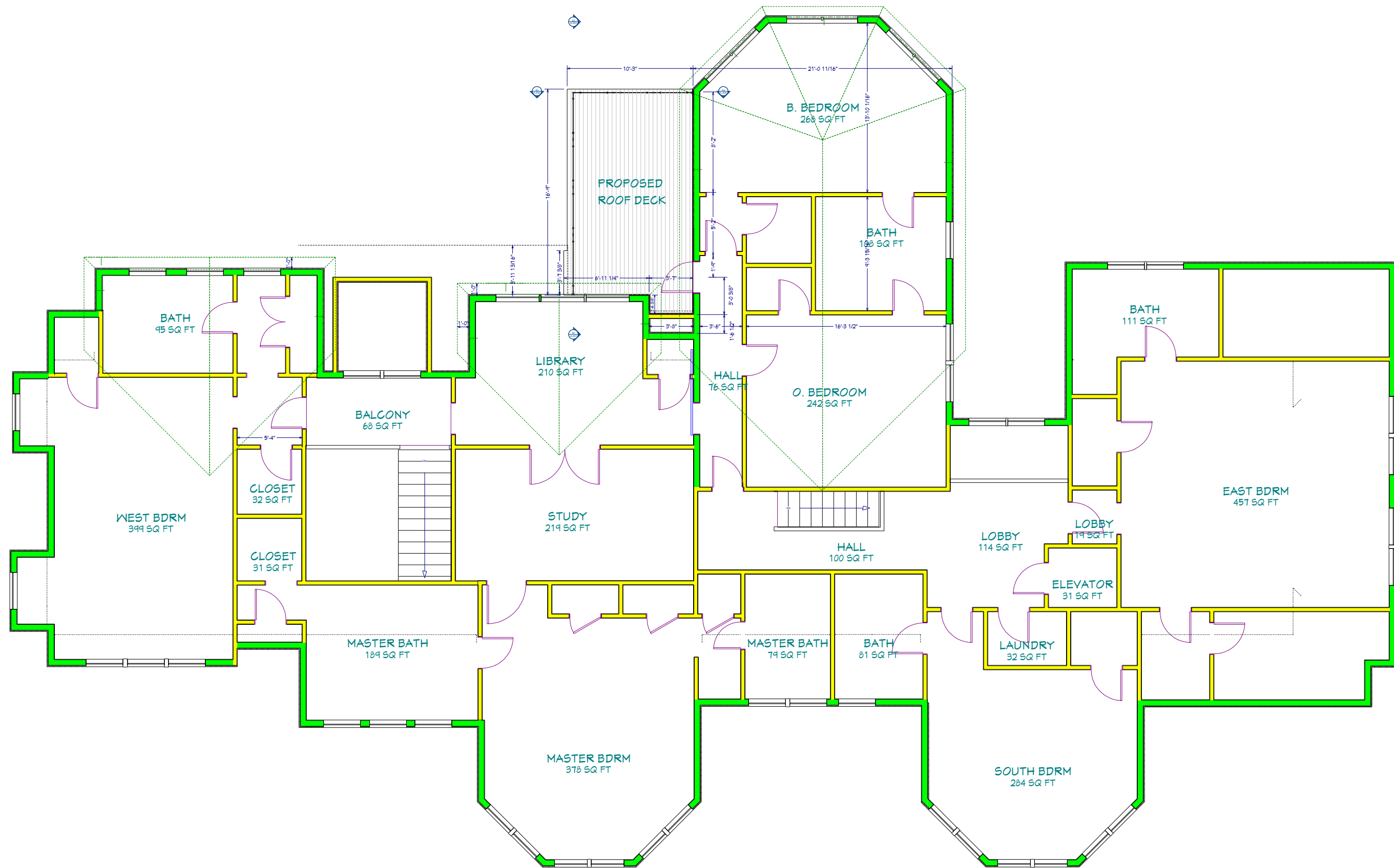
3/11/2021

SCALE:

1/4" = 1'

SHEET:

A-101



2nd Floor

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

REV	DATE	DESCRIPTION
1.2	12/4/20	Garden revisions for top
2.0	12/24/20	Roof Deck
2.1	1/20/21	Roof Deck details
2.2	1/29/21	Roof Deck details
2.3	3/11/21	Roof Deck details
2.4	3/11/21	Glass Rail details

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Cohen Residence
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Title:
Second Fl Plan

DATE:

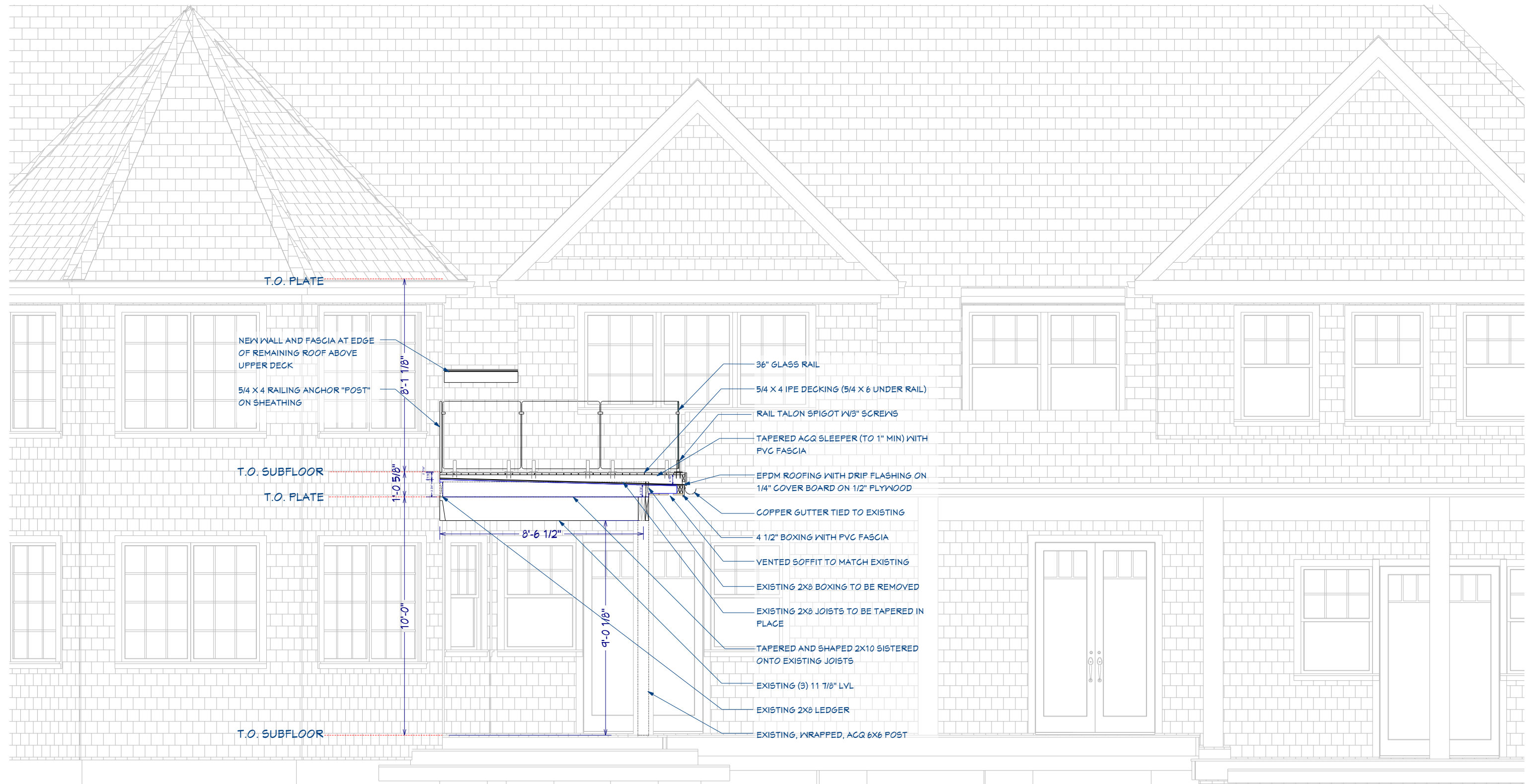
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SCALE:

1/4" = 1'

SHEET:

A-102



T.O. PLATE

NEW WALL AND FASCIA AT EDGE OF REMAINING ROOF ABOVE UPPER DECK

5/4 X 4 RAILING ANCHOR "POST" ON SHEATHING

8'-1 1/8"

T.O. SUBFLOOR

T.O. PLATE

1'-0 5/8"

8'-6 1/2"

9'-0 1/8"

T.O. SUBFLOOR

10'-0"

- 36" GLASS RAIL
- 5/4 X 4 IPE DECKING (5/4 X 6 UNDER RAIL)
- RAIL TALON SPIGOT W/3" SCREWS
- TAPERED ACQ SLEEPER (TO 1" MIN) WITH PVC FASCIA
- EPDM ROOFING WITH DRIP FLASHING ON 1/4" COVER BOARD ON 1/2" PLYWOOD
- COPPER GUTTER TIED TO EXISTING
- 4 1/2" BOXING WITH PVC FASCIA
- VENTED SOFFIT TO MATCH EXISTING
- EXISTING 2X8 BOXING TO BE REMOVED
- EXISTING 2X8 JOISTS TO BE TAPERED IN PLACE
- TAPERED AND SHAPED 2X10 SISTERED ONTO EXISTING JOISTS
- EXISTING (3) 11 1/8" LVL
- EXISTING 2X8 LEDGER
- EXISTING, WRAPPED, ACQ 6X6 POST

Roof Deck Section 1

Scale: 1/2" = 1'

REV	DATE	DESCRIPTION
1.2	12/4/20	General revisions for top
2.0	12/24/20	Roof Deck
2.1	1/20/21	Roof Deck details
2.2	1/20/21	Roof Deck details
2.3	3/11/21	Roof Deck details
2.4	3/11/21	Glass Rail details

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Title:
Section Drawings

DATE:

3/11/2021

SCALE:

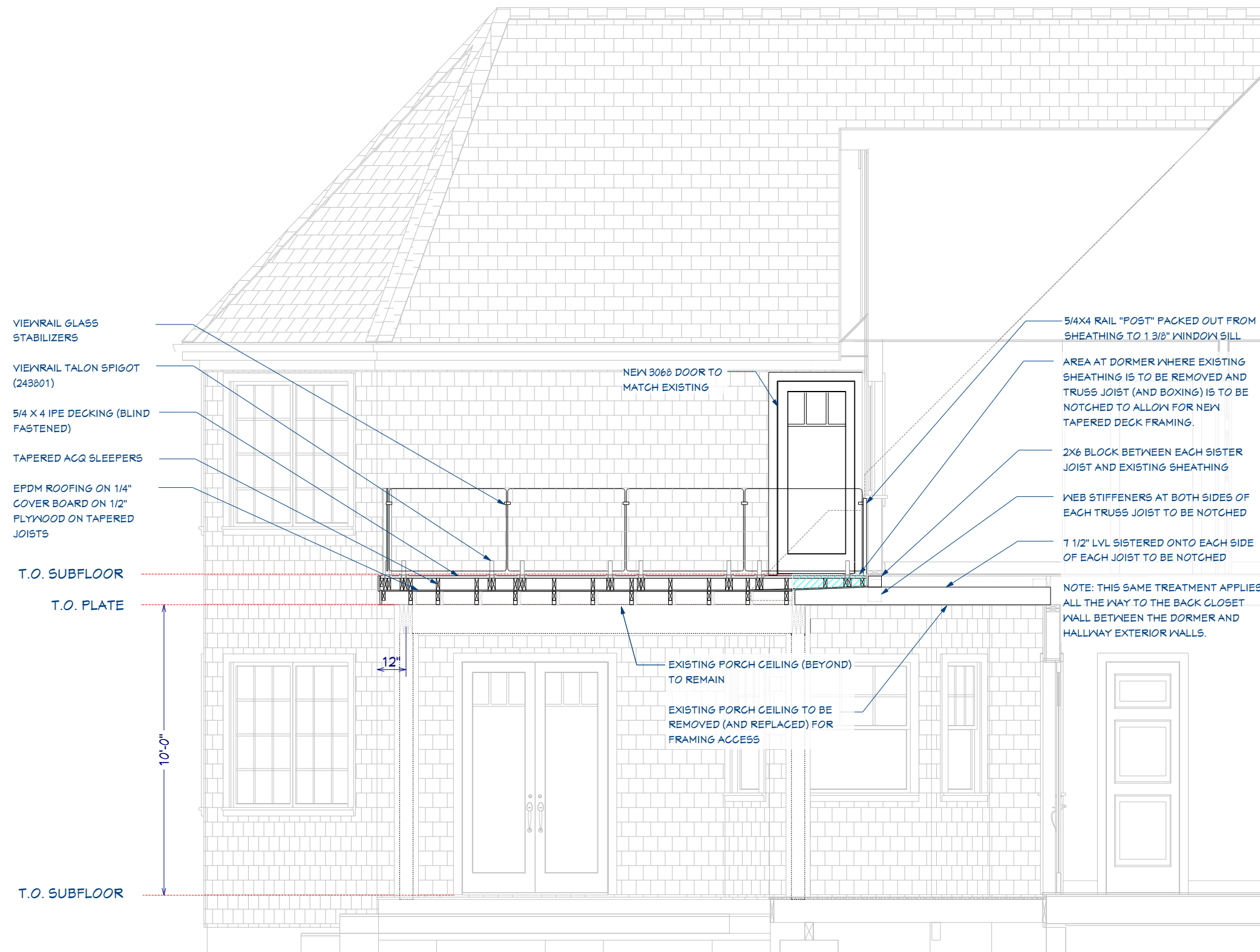
1/2" = 1'

SHEET:

A-300

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.



Roof Deck Section 2

Scale: 1/2" = 1'

REV	DATE	DESCRIPTION
1.2	12/01/20	Garden revisions for top
2.0	12/04/20	Roof Deck
2.1	1/20/21	Roof Deck details
2.2	1/20/21	Roof Deck details
2.3	3/11/21	Roof Deck details
2.4	3/11/21	Glass Rail details

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Cohen Residence
 Renovations

Section Drawings

Title:

DATE:

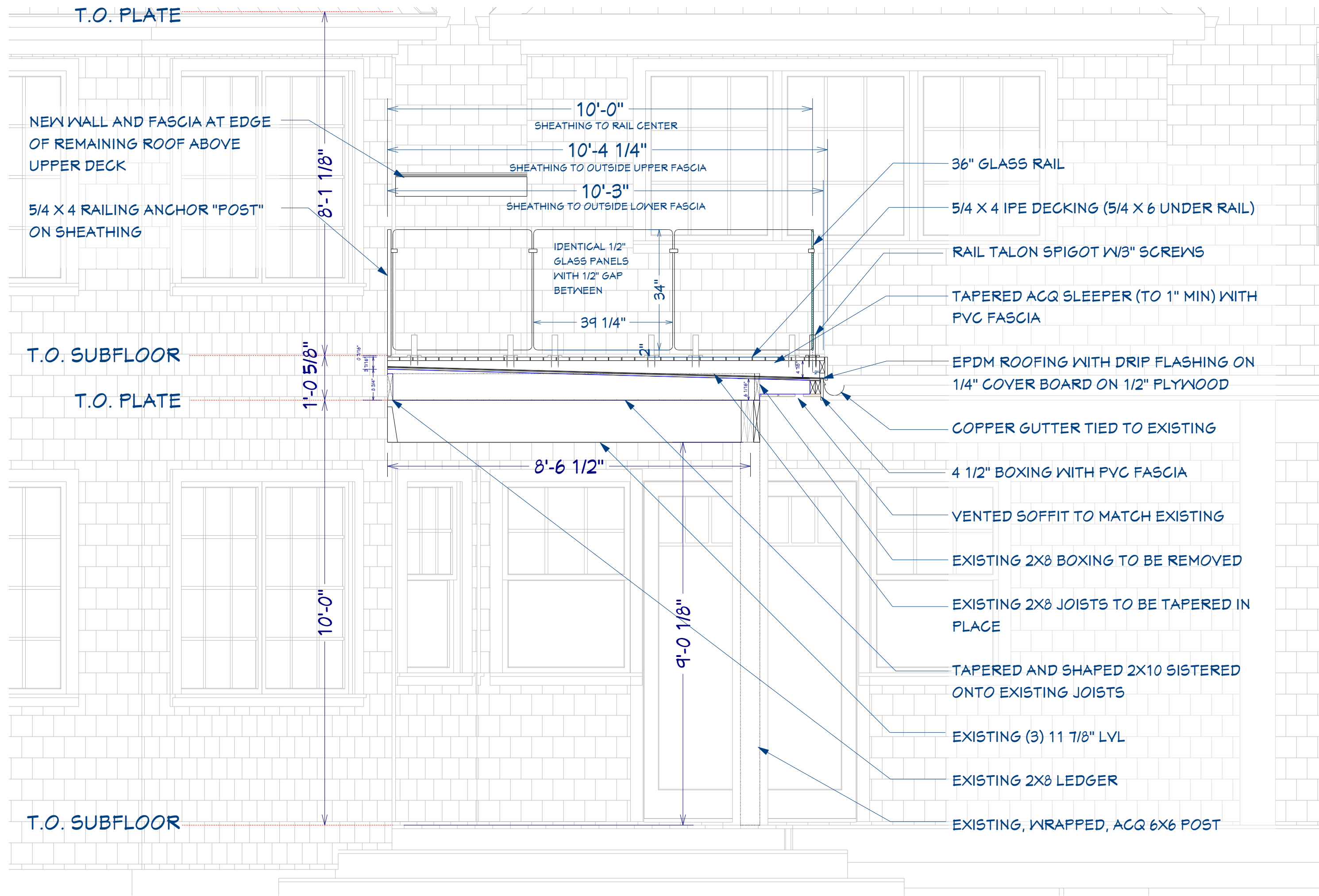
3/11/2021

SCALE:

1/2" = 1'

SHEET:

A-301



Upper Deck Section 1

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

Recent Revision History

REV	DATE	DESCRIPTION
1.2	12/01/20	General revisions for top
2.0	12/04/20	Roof Deck
2.1	12/07/21	Roof Deck details
2.2	12/07/21	Roof Deck details
2.3	01/11/21	Roof Deck details
2.4	01/11/21	Glass Rail details

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Cohen Residence
 Renovations

Section Details

Title:

DATE:

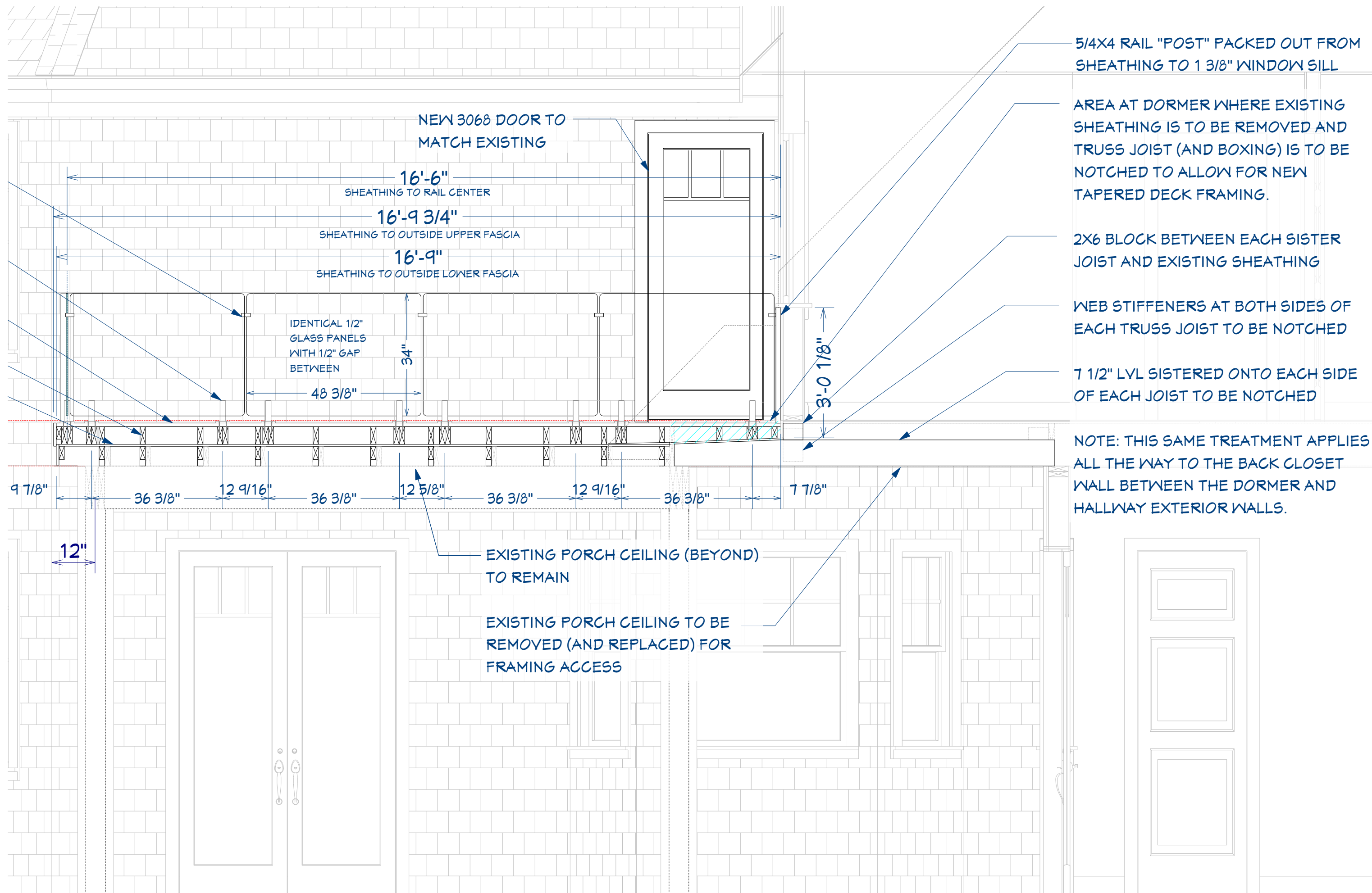
3/11/2021

SCALE:

1" = 1'

SHEET:

A-400



5/4X4 RAIL "POST" PACKED OUT FROM SHEATHING TO 1 3/8" WINDOW SILL

AREA AT DORMER WHERE EXISTING SHEATHING IS TO BE REMOVED AND TRUSS JOIST (AND BOXING) IS TO BE NOTCHED TO ALLOW FOR NEW TAPERED DECK FRAMING.

2X6 BLOCK BETWEEN EACH SISTER JOIST AND EXISTING SHEATHING

WEB STIFFENERS AT BOTH SIDES OF EACH TRUSS JOIST TO BE NOTCHED

7 1/2" LVL SISTERED ONTO EACH SIDE OF EACH JOIST TO BE NOTCHED

NOTE: THIS SAME TREATMENT APPLIES ALL THE WAY TO THE BACK CLOSET WALL BETWEEN THE DORMER AND HALLWAY EXTERIOR WALLS.

NEW 3068 DOOR TO MATCH EXISTING

16'-6"
SHEATHING TO RAIL CENTER

16'-9 3/4"
SHEATHING TO OUTSIDE UPPER FASCIA

16'-9"
SHEATHING TO OUTSIDE LOWER FASCIA

IDENTICAL 1/2" GLASS PANELS WITH 1/2" GAP BETWEEN

48 3/8"

34"

3'-0 1/8"

9 7/8" 36 3/8" 12 9/16" 36 3/8" 12 5/8" 36 3/8" 12 9/16" 36 3/8" 7 7/8"

12"

EXISTING PORCH CEILING (BEYOND) TO REMAIN

EXISTING PORCH CEILING TO BE REMOVED (AND REPLACED) FOR FRAMING ACCESS

Upper Deck Section 2

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

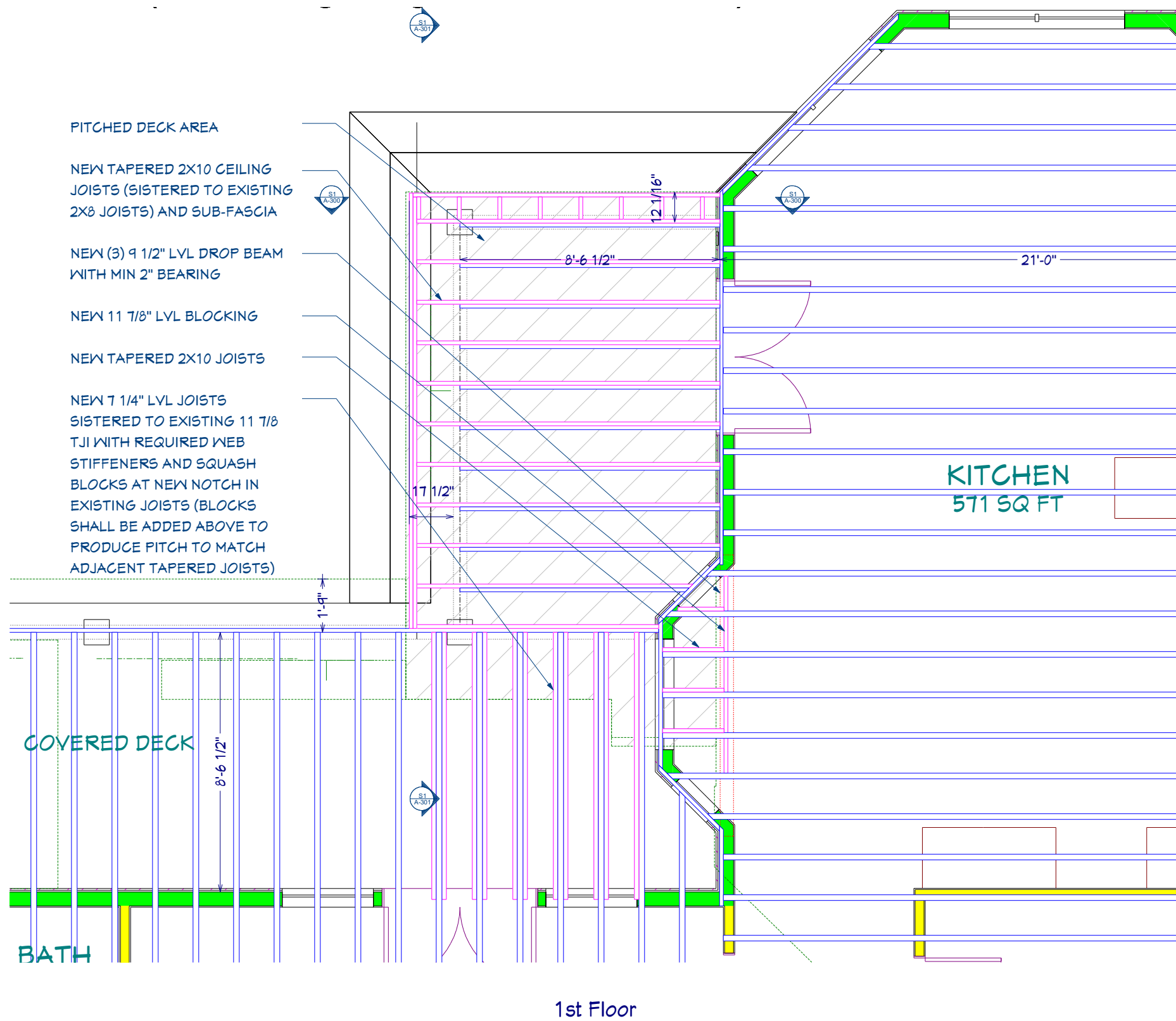
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2.3	3/11/21	Roof Deck details
2.4	3/11/21	Glass Rail details

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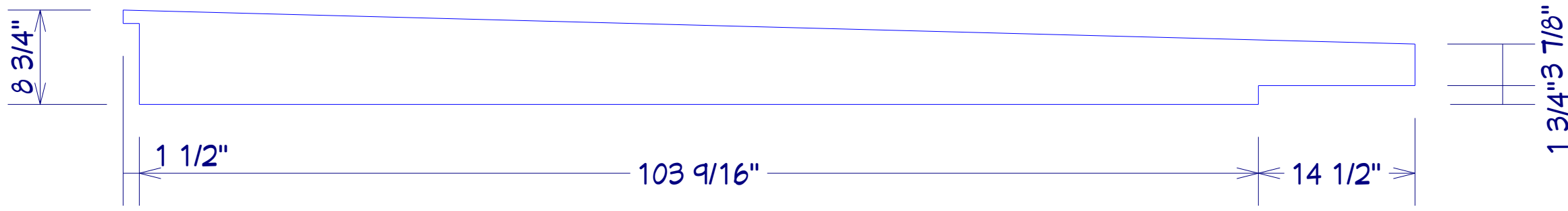
Cohen Residence
Renovations

Section Details

Title:
DATE: 3/11/2021
SCALE: 1" = 1'
SHEET: A-401



- PITCHED DECK AREA
- NEW TAPERED 2X10 CEILING JOISTS (SISTERED TO EXISTING 2X8 JOISTS) AND SUB-FASCIA
- NEW (3) 9 1/2" LVL DROP BEAM WITH MIN 2" BEARING
- NEW 11 7/8" LVL BLOCKING
- NEW TAPERED 2X10 JOISTS
- NEW 7 1/4" LVL JOISTS SISTERED TO EXISTING 11 7/8 TJI WITH REQUIRED WEB STIFFENERS AND SQUASH BLOCKS AT NEW NOTCH IN EXISTING JOISTS (BLOCKS SHALL BE ADDED ABOVE TO PRODUCE PITCH TO MATCH ADJACENT TAPERED JOISTS)



Tapered Ceiling Joist Detail Scale: 2" = 1'

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

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2.4	3/11/21	Glass Rail details

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 Renovations

Title:
Deck & Floor Framing

DATE:

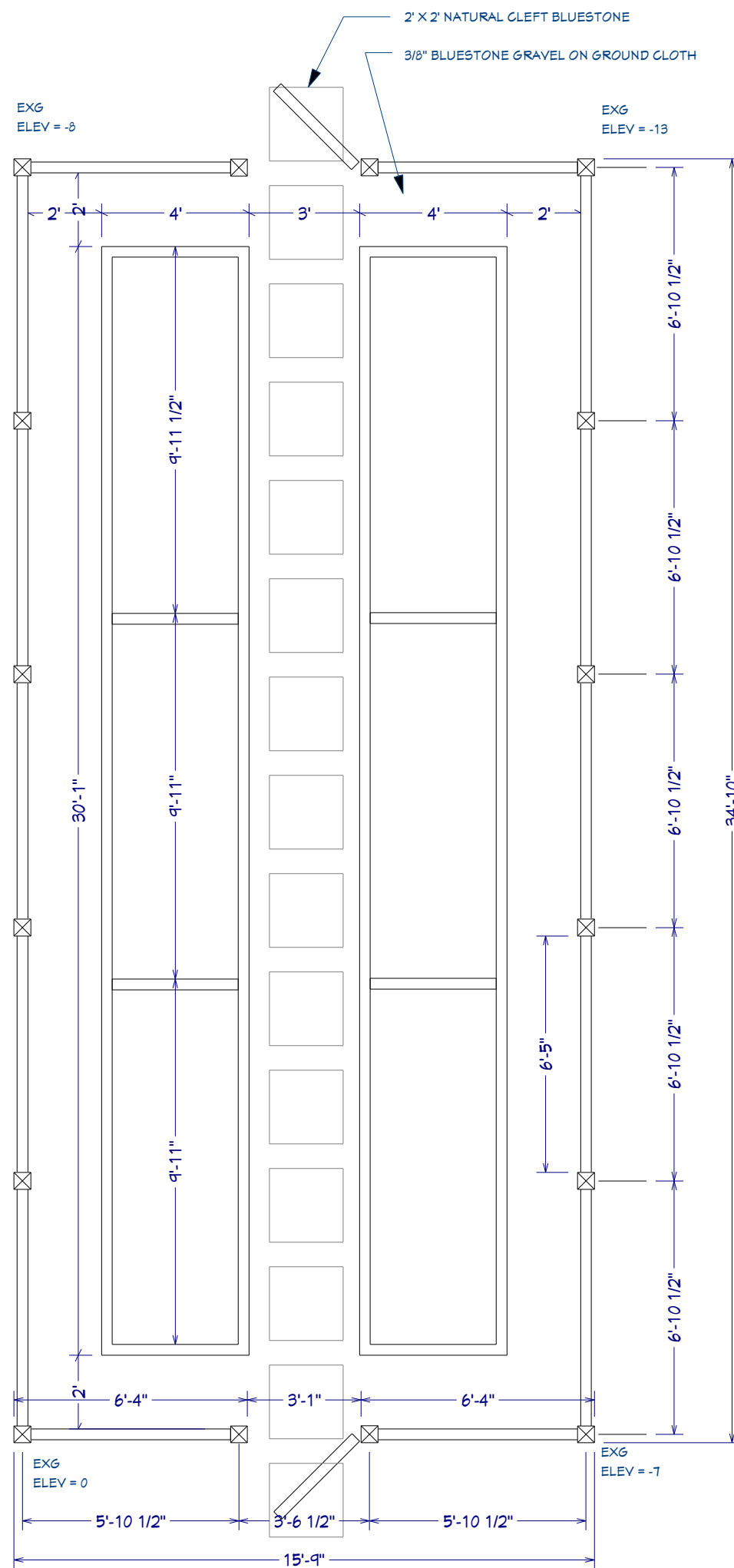
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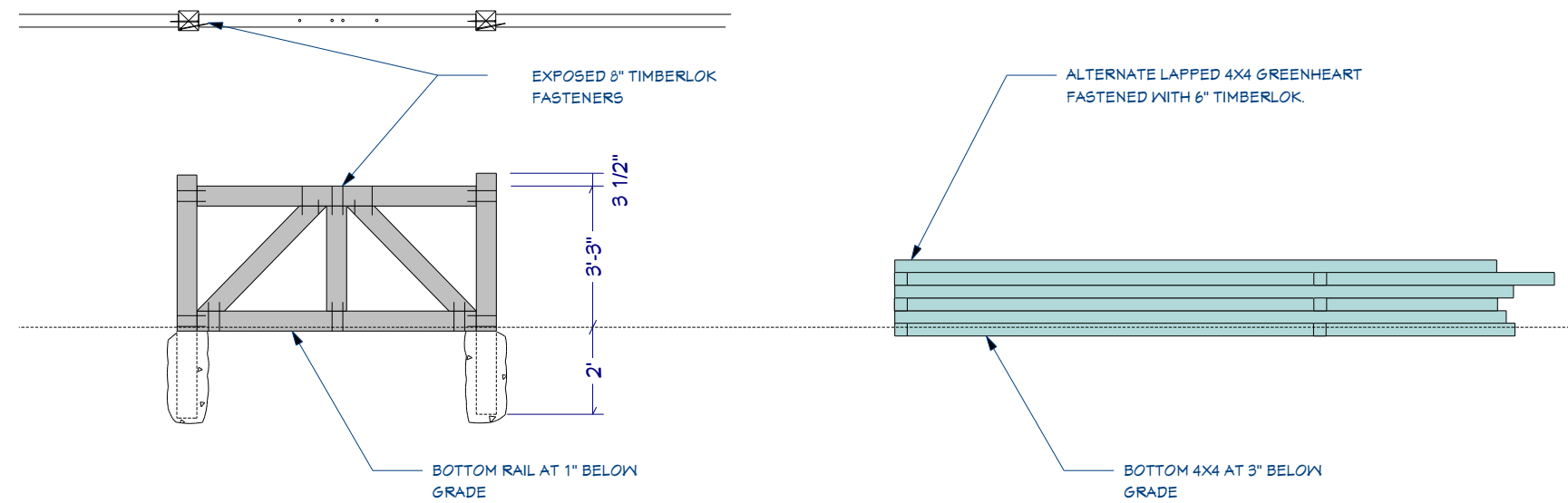
1/2" = 1'

SHEET:

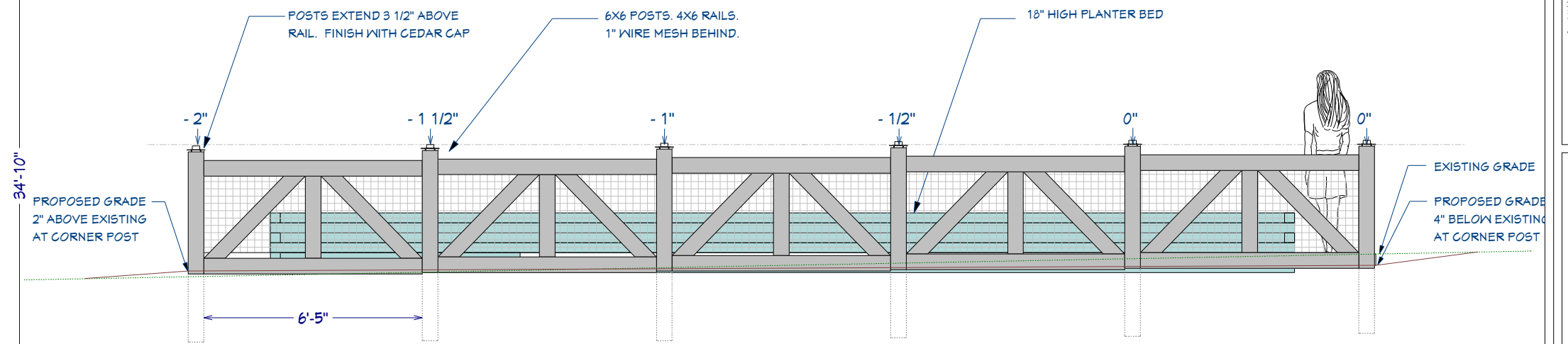
F-100



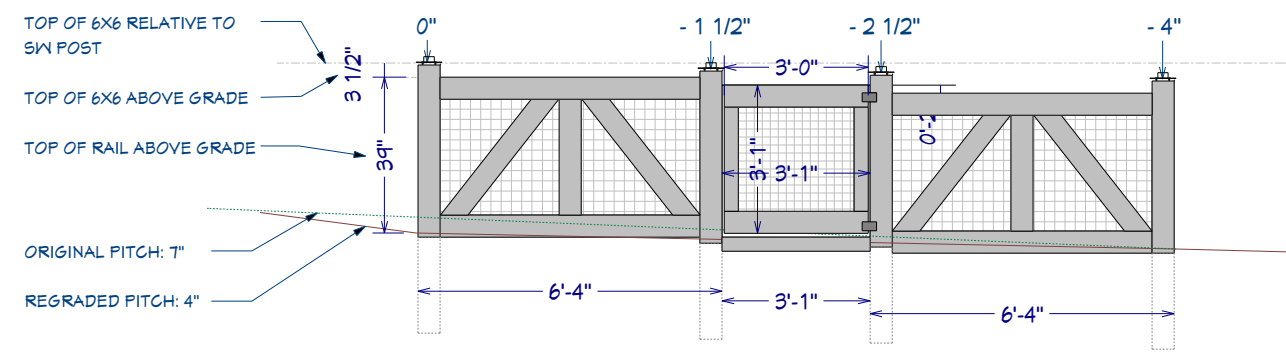
Garden Plan



Details



West Elevation (Note: East Elev has same proposed pitch)



South Elevation (Note: North Elev has same proposed pitch)

REV	DATE	DESCRIPTION
1.2	12/04/20	Garden revisions for top
2.0	12/04/20	Roof Deck
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2.4	3/11/21	Glass Rail details

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Cohen Residence
 Renovations

Garden Details

Title:

DATE:

3/11/2021

SCALE:

1/2" = 1'

SHEET:

A-600