

DESIGN LOADS

STRUCTURAL MEMBERS HAVE BEEN DESIGNED FOR FULL DEAD LOADS AND THE FOLLOWING LIVE LOADS IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODE w/ NEW YORK DEPARTMENT OF STATE 2017 SUPPLEMENT:

1. BUILDING CATEGORY: II
2. IMPORTANCE FACTOR:
WIND (I_w) = 1.0;
SNOW (I_s) = 1.0
SEISMIC (I_e) = 1.0
3. GROUND SNOW LOAD: 20 PSF
4. ROOF LIVE LOAD: 20 PSF
5. LIVING AREA LIVE LOAD: 40 PSF
6. SLEEPING AREA LIVE LOAD: 30 PSF
7. WIND LOAD:
V_{ult} = 138 MPH
WIND EXPOSURE: B
VELOCITY PRESSURE EXPOSURE COEFFICIENT, K_Z 0.85
DIRECTIONALITY FACTOR, K_d: 0.85
GUST EFFECT FACTOR, G: 0.85
INTERNAL PRESSURE COEFFICIENT, GCPI: ±0.18

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

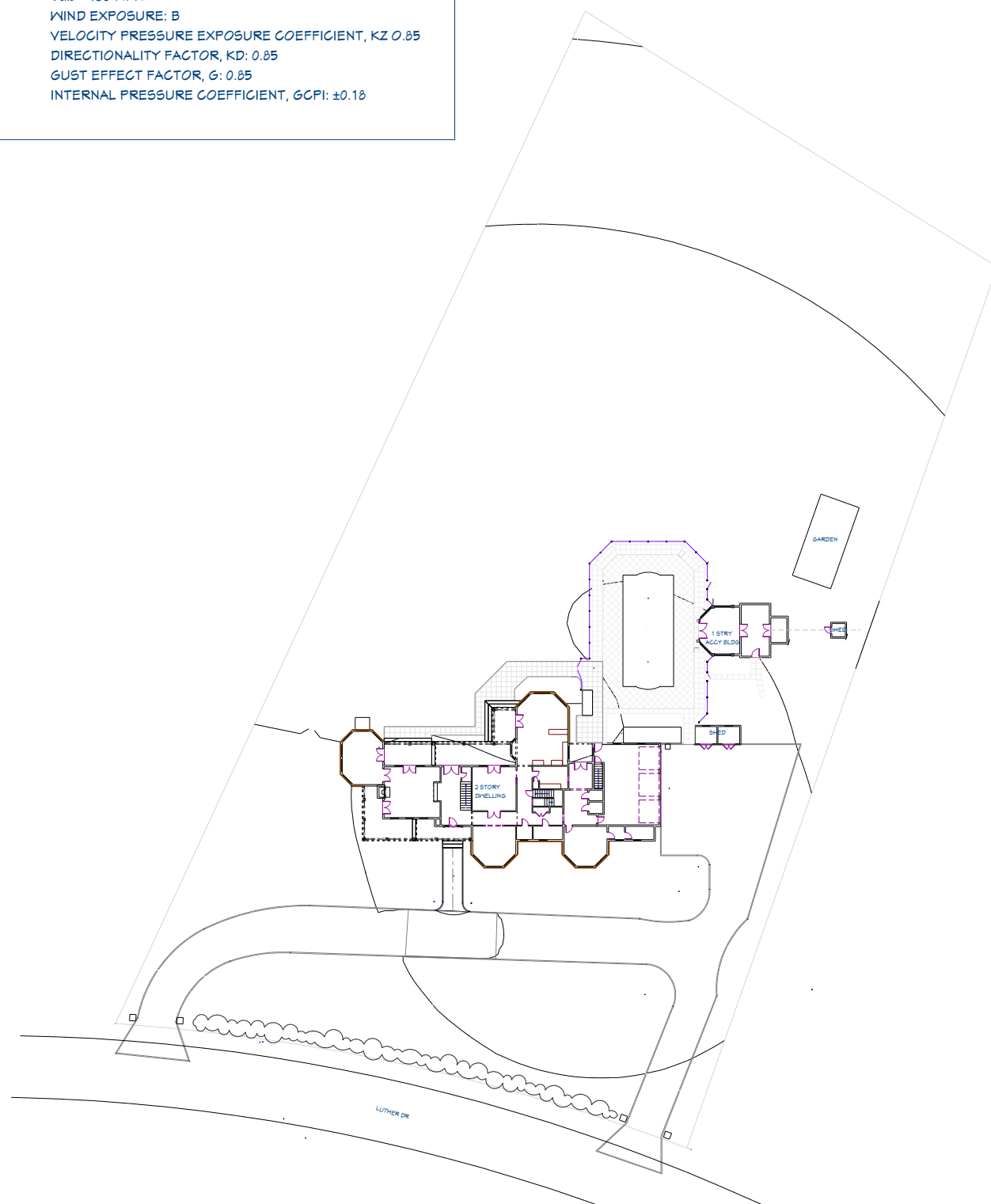
GROUND SNOW LOAD (PSF)	20
WIND SPEED (MPH)	138
WIND TEMPERATURE EFFECTS	NO
SPECIAL WIND REGION	YES
SEISMIC DESIGN CATEGORY	B
WEATHERING DAMAGE POTENTIAL	SEVERE
TERMITE DAMAGE POTENTIAL	MOD. TO HEAVY
FROST LINE DEPTH DAMAGE POTENTIAL (IN.)	36
WINTER DESIGN TEMPERATURE (DEG.)	15
ICE BARRIER UNDERLAYMENT REQUIREMENT	YES
FLOOD HAZARD	NO
AIR FREEZING INDEX	452
MEAN ANNUAL TEMPERATURE (DEG.)	57.2

GENERAL NOTES:

- 1 DO NOT SCALE DIMENSIONS OFF DRAWINGS. USE WRITTEN OR CALCULATED DIMENSIONS. ALL CONTRACTORS ARE RESPONSIBLE FOR CHECKING DIMENSIONS BEFORE ESTIMATING, ORDERING OR STARTING WORK.
- 2 ERRORS OR OMISSIONS, IN ANY SCHEDULE OR DRAWING MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY.
- 3 ANY DISCREPANCIES FOUND IN THE PLANS, DIMENSIONS, EXISTING CONDITIONS OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING ANY PRODUCT, MATERIAL OR METHOD OF ASSEMBLY MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY. A WRITTEN ADDENDUM SHALL BE ISSUED AS NECESSARY AND SHALL BECOME A PART OF THE CONTRACT DOCUMENTS THEREIN.
- 4 DIMENSIONS AND DETAILS OF EXISTING CONSTRUCTION GIVEN IN DRAWINGS ARE APPROXIMATE AND ARE BASED ON LIMITED INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATIONS AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY.
- 5 OPENINGS SHALL NOT BE MADE IN ANY STRUCTURAL MEMBER UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE ENGINEER.
- 6 ALL EXTERIOR EXPOSED WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO ASSURE WEATHER TIGHT CONDITION.
- 7 ALL WORK SHALL CONFORM TO CODES, ORDINANCES, REGULATIONS AND REQUIREMENTS OF LOCAL, COUNTY, STATE, NATIONAL BUILDING SAFETY CODES AND OTHER AGENCIES AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- 8 NO NOTE OR LACK THEREOF SHALL BE CONSTRUED AS RELIEVING ANY CONTRACTOR FROM EXECUTING ALL WORK IN CONFORMANCE AS NOTED ABOVE.
- 9 THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ACTS OF OMISSION OF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR OR AGENTS OR ANY OTHER PERSONS PERFORMING THE WORK.
- 10 THE GENERAL CONTRACTOR IS TO SUPPLY SAMPLES OF ALL MATERIAL FINISHES AND COLORS FOR FINAL APPROVAL BY THE OWNER PRIOR TO INSTALLATION.
- 11 THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TRADES WITH EACH OTHER TO AVOID CONFLICTS RESULTING FROM THE LOCATION OF SUPPLY LINES AND EQUIPMENT TO SATISFY THE OVERALL DESIGN OF THE PROJECT.
- 12 ALL CONTRACTORS SHALL BEAR THE TOTAL EXPENSE FOR AND SHALL REPAIR, TO EXISTING CONDITIONS, ANY DAMAGE TO EXISTING CONSTRUCTION, EQUIPMENT OR IMPROVEMENTS.
- 13 ALL CONTRACTORS SHALL BEAR THE TOTAL EXPENSE FOR AND SHALL REPAIR ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES.
- 14 ALL CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL PLANS AND SPECIFICATIONS. IT IS THE RESPONSIBILITY OF ALL TRADES TO COORDINATE THEIR JOBS WITH OTHER TRADES AND PERFORM THEIR JOB IN A WORKPERSON-LIKE MANNER AND ACCORDING TO THE ABOVE SAID BUILDING AND SAFETY CODES.
- 15 ALL CONTRACTORS ARE RESPONSIBLE FOR PROTECTING THE STRUCTURE AND FINISHES DURING CONSTRUCTION, INSTALLATION AND UNTIL FINAL PAYMENT.
- 16 THE INSTALLER SHALL PROVIDE ADEQUATE TEMPORARY BRACING, SHORING & GUYING OF FRAMING AGAINST WIND, CONSTRUCTION LOADS & OTHER TEMPORARY FORCES UNTIL NO LONGER REQUIRED FOR THE SUPPORT OF THE FRAMING.
- 17 ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES AND SAFETY AND SECURITY ON THE JOB SITE. THE DESIGN AND ENGINEERING TEAMS AND ALL THEIR AGENTS AND EMPLOYEES ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND SHALL BE HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY AND ALL CLAIMS, LOSSES, SUITS AND LEGAL ACTION WHATSOEVER ARISING FROM THE PERFORMANCE OF WORK ON THIS PROJECT.

ABBREVIATIONS COMMONLY USED:

- A.F.F. - ABOVE FINISHED FLOOR
- ALUM. - ALUMINUM
- & - AND
- @ - AT
- BLDG. - BUILDING
- CMU - CONCRETE MASONRY UNIT
- CONG. - CONCRETE
- DBL. - DOUBLE
- EA. - EACH
- ELEC. - ELECTRICAL
- E.P.S. - EXPANDED POLYSTYRENE
- EXT. - EXTERIOR
- EXTG. - EXISTING
- F.D. - FLOOR DRAIN
- FT. - FEET
- GA. - GAUGE
- GALV. - GALVANIZED
- GWB - GYPSUM WALL BOARD
- H. - HIGH
- HORZ. - HORIZONTAL
- I.D. - INSIDE DIAMETER
- INSUL. - INSULATION
- INT. - INTERIOR
- L - LENGTH, LONG
- LAV. - LAVATORY
- MACH. - MACHINE
- MAX. - MAXIMUM
- MFR. - MANUFACTURER
- MIN. - MINIMUM
- M.P.H. - MILES PER HOUR
- MTL. - METAL
- NEO. - NEOPRENE
- N.I.C. - NOT IN CONTRACT
- O.C. - ON CENTER
- O.D. - OUTSIDE DIAMETER
- OPP. - OPPOSITE
- PLAS. LAM. - PLASTIC LAMINATE
- PLYWD. - PLYWOOD
- P.S.F. - POUNDS PER SQUARE FOOT
- P.S.I. - POUNDS PER SQUARE INCH
- P.T. - PRESSURE TREATED
- REINF. - REINFORCING
- R.O. - ROUGH OPENING
- RUN. - RUNNER
- SHT. - SHEET
- SHTNG. - SHEATHING
- SIM. - SIMILAR
- S-N-L - SNAP-N-LOCK
- S.M.S. - SHEET METAL SCREW
- SPECS. - SPECIFICATIONS
- S.S. - STAINLESS STEEL
- STL. - STEEL
- T&G - TONGUE AND GROOVE
- TYP. - TYPICAL
- U.O.N. - UNLESS OTHERWISE NOTED
- VERT. - VERTICAL
- V.I.F. - VERIFY IN FIELD
- W. - WITH
- W.C. - WATER CLOSET
- WD. - WOOD
- W.H. - WATER HEATER
- W/O - WITHOUT
- W.W.F. - WELDED WIRE FABRIC



Site Plan Scale: 1" = 30'

LAYOUT PAGE TABLE		
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11	A-400	Section Details
12	A-401	Section Details
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14	F-100	Deck & Floor Framing
15	E-100	Deck Electrical
16	A-600	Garden Details
17	A-601	Motion Sensing Layout
18	A-602	Split Bath

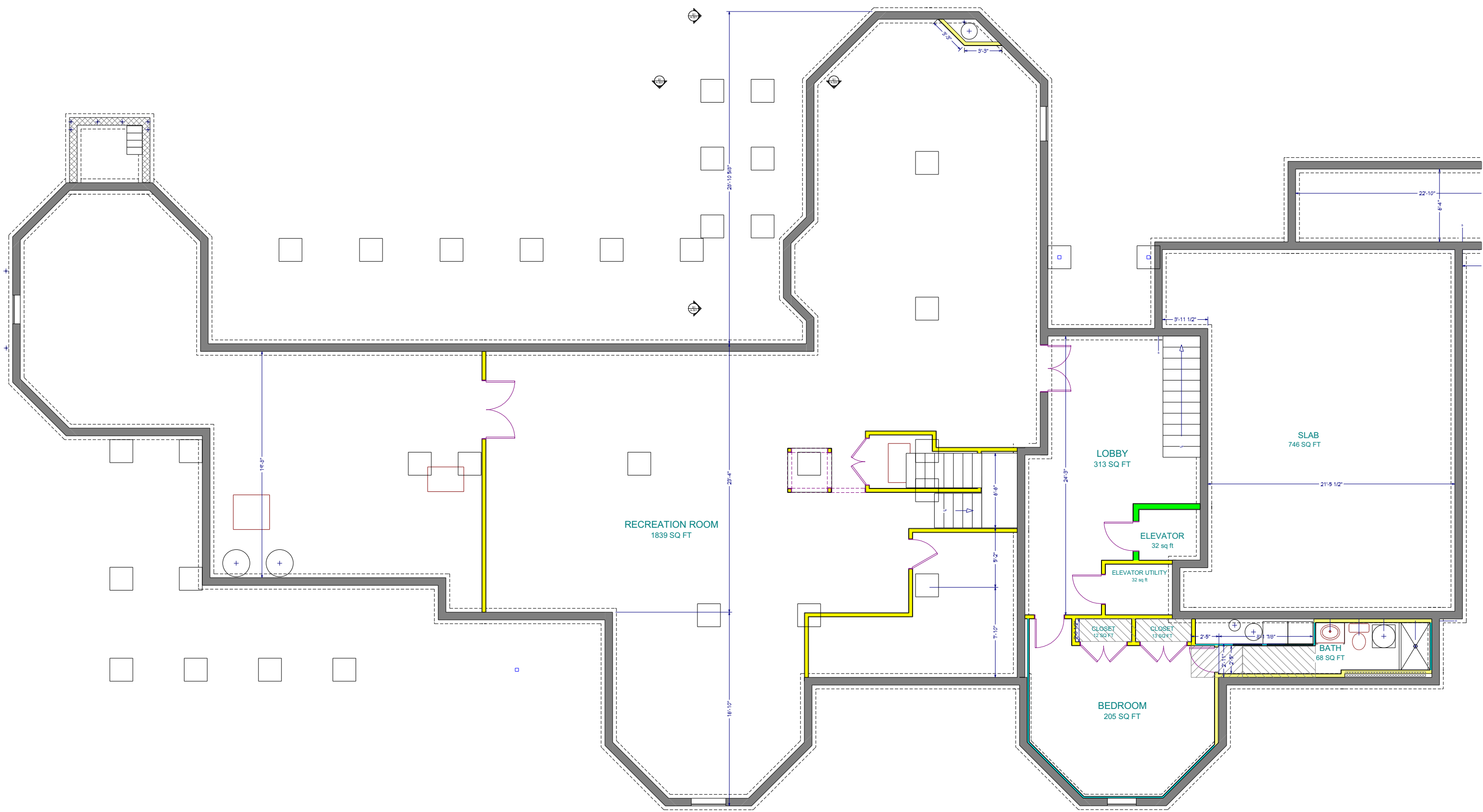
REV	DATE	DESCRIPTION
3.2	6/29/22	E/N/W Elevations to field measure
3.3	7/11/22	E/N/W Elevations & new sched
3.4	7/20/22	Window Sizing, Lites, etc.
3.5	10/14/22	Bathrooms Split, Prelim.
3.6	11/11/22	Phase II Window updates
3.7	12/02/22	Labeling

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Cohen Residence
 Renovations

Title: **Site Plan and Notes**

DATE: 12/8/2022
 SCALE: 1/4" = 1'
 SHEET: **S-001**



Foundation

REV	DATE	DESCRIPTION
3.2	6/29/22	ENR Elevations to field measure
3.3	7/11/22	ENR Elevations & new sched
3.4	7/20/22	Window siding, trunks
3.5	10/14/22	Bathrooms, Spill, Trunks
3.6	11/11/22	Phase II Window updates
3.7	12/9/22	Labeling

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Title:
Foundation Plan

DATE:

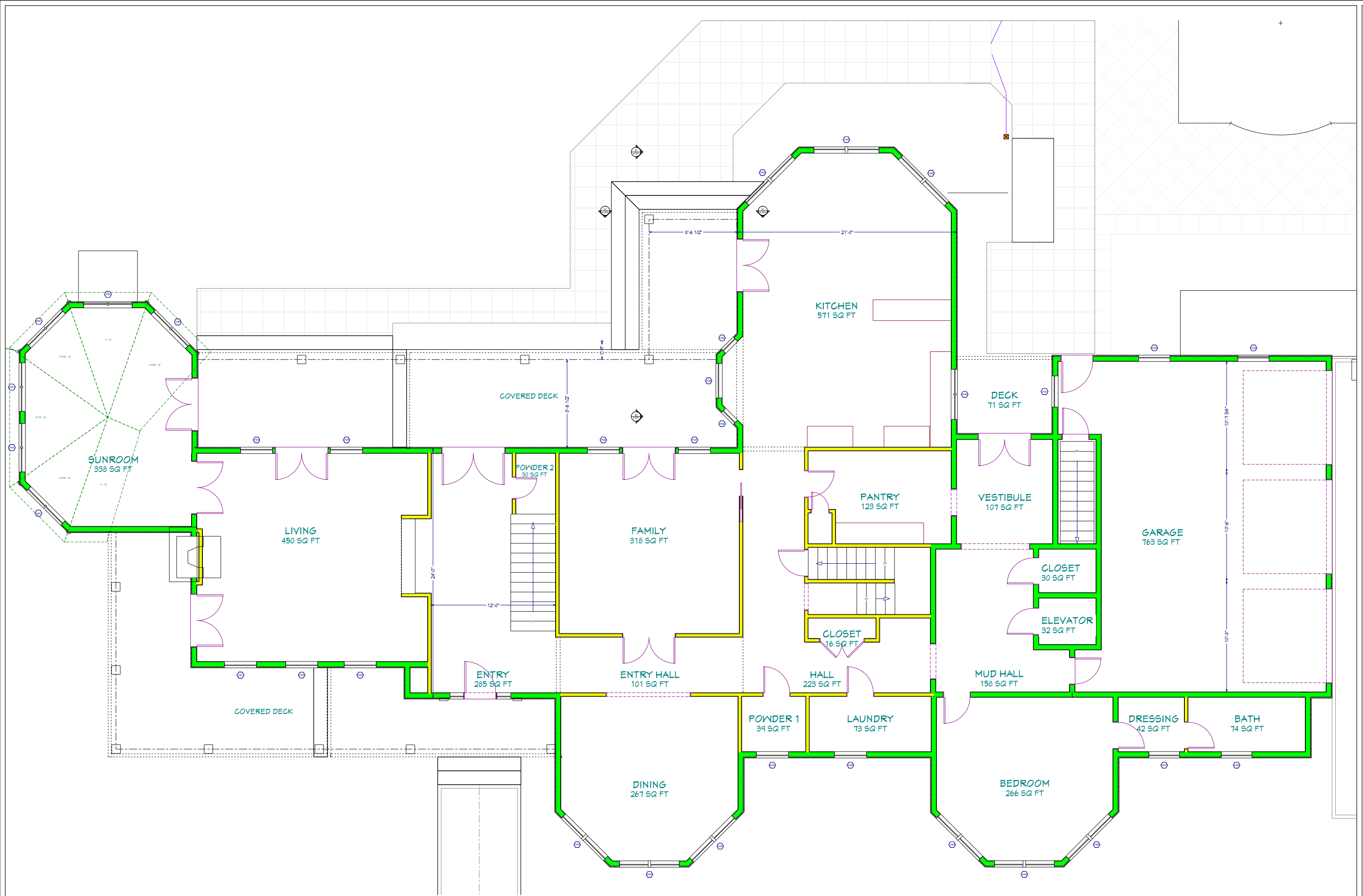
12/8/2022

SCALE:

1/4" = 1'

SHEET:

A-100



1st Floor

Recent Revision History

REV	DATE	DESCRIPTION
3.2	6/29/22	EN/A Elevations to field measure
3.3	7/11/22	EN/A Elevations & new sched
3.4	7/20/22	Window siding tweaks
3.5	10/14/22	Bathrooms Spill Treats
3.6	11/11/22	Phase II Window updates
3.7	12/9/22	Labeling

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Cohen Residence
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Title:
First Fl Plan

DATE:

12/8/2022

SCALE:

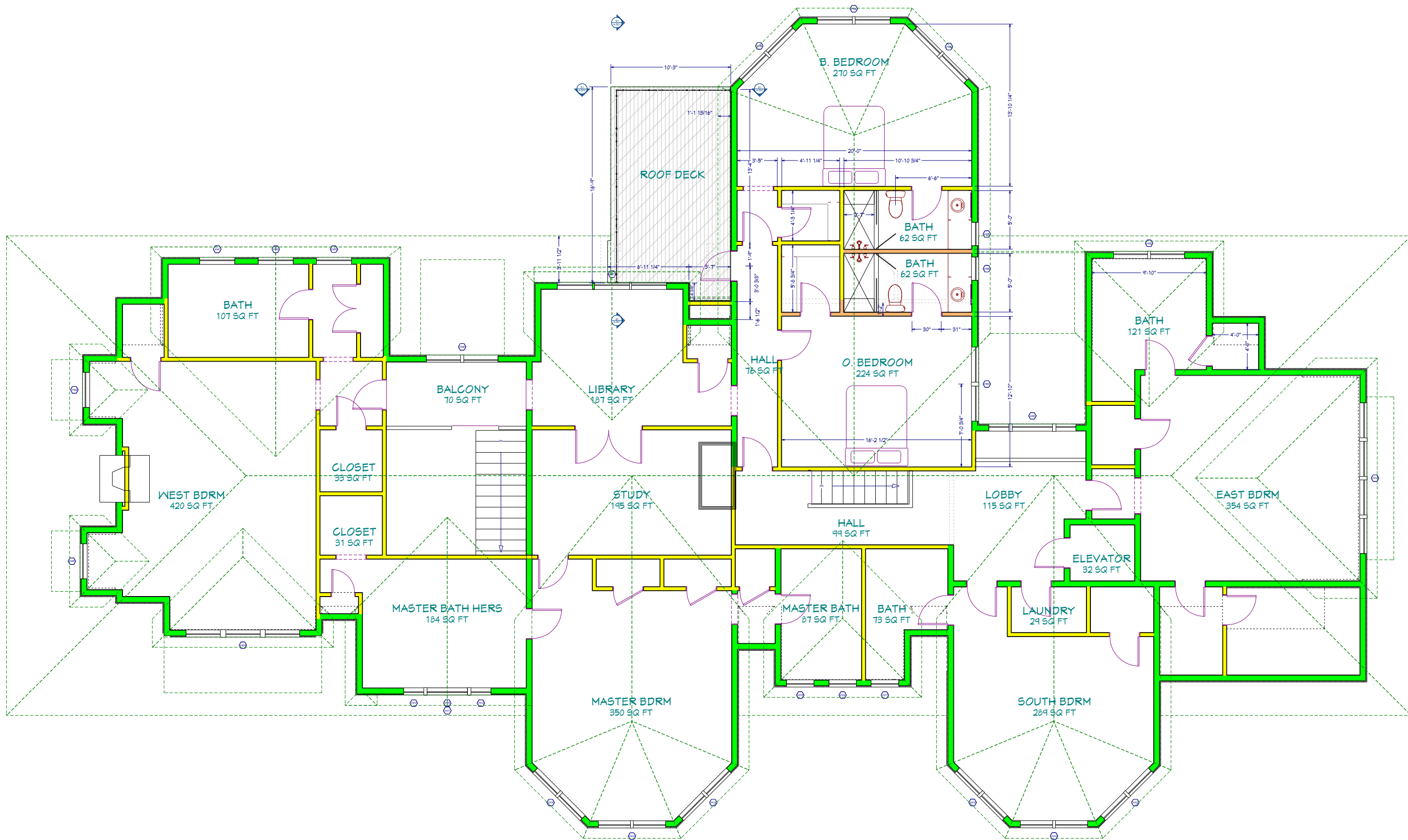
1/4" = 1'

SHEET:

A-101

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.



2nd Floor

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

REV	DATE	DESCRIPTION
3.2	6/29/22	ENR Elevations to field measure
3.3	7/11/22	ENR Elevations & new sched
3.4	7/20/22	Window suling, lueaks
3.5	10/14/22	Bathroom spill, towels
3.6	11/11/22	Please II Window updates
3.7	12/9/22	Labeling

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Cohen Residence
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Title:
Second Fl Plan

DATE:
 12/8/2022

SCALE:
 1/4" = 1'

SHEET:
A-102

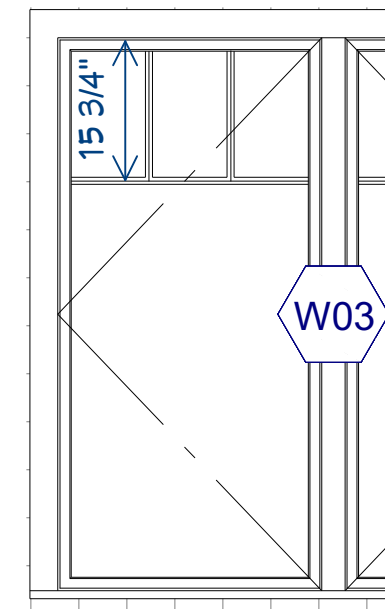


South Elevation

Num	Qty	Fl	Room	Style	Notes	Case-Case Measured Overall Width	Case-Sill Nose Measured Overall Width	Calculated OM-(2*3) FS Width	Calculated OM-(3+5) FS Height
W01	1	1	Living/Deck	Sngl Casement-HL		43.125	71.875	37.125	68.375
W02	2	1	Living/Deck	Sngl Casement-HR		43.125	71.875	37.125	68.375
W03	3	1	Dining	Mulled Dbl Casement		74.750	71.875	68.750	68.375
W04	1	1	Powder 1	Sngl Casement-HL		43.125	60.000	37.125	56.500
W05	1	1	Laundry	Sngl Casement-HR		43.125	60.000	37.125	56.500
W06	3	1	Bedroom	Mulled Dbl Casement		78.750	71.875	72.750	68.375
W07	1	1	Dressing	Sngl Casement-HL		41.125	60.000	35.125	56.500
W08	1	1	Bath	Sngl Casement-HR		41.125	60.000	35.125	56.500
W09	1	2	Nest Bdrm/Ledge	Mulled Trpl Casement		122.500	59.750	116.500	56.250
W10	2	2	Master Bath Hers	Sngl Casement-HL					
W11	2	2	Master Bath Hers	Fixed - Transom	Actual, with 2" brick mold Expanding OM for 3 1/2 flat	44.125 41.125	18.500 20.000	41.125 41.125	17.000 17.000
W12	2	2	Master Bath Hers	Sngl Casement-HR	Actual, with 2" brick mold Expanding OM for 3 1/2 flat	25.500 28.500	66.250 67.750	21.000 22.500	64.250 64.750
W13	2	2	Master Bath Hers	Fixed - no center bars	(see adjacent units)				
Mulled	1	2	Master Bath Muller (above 4 units)		Actual, with 2" brick mold Expanding OM for 3 1/2 flat	91.250 94.250	83.500 85.000	88.250 88.250	81.500 81.500
W14	3	2	Master Bdrm	Mulled Dbl Casement		74.750	60.000	68.750	56.500
W15	1	2	Master Bath	Sngl Casement-HL		34.125	44.500	28.125	41.000
W16	1	2	Master Bath	Sngl Casement-HR		34.125	44.500	28.125	41.000
W17	1	2	Bath	Sngl Casement-HR		34.125	44.500	28.125	41.000
W18	3	2	South Bdrm	Mulled Dbl Casement		78.750	60.000	72.750	56.500
	24								

PHASE I WINDOW NOTES:

- ALL 1ST FL CRAFTSMAN HORIZONTAL GRILL BAR HEIGHT IS 15 3/4" (OC) DOWN FROM INNER FRAME
- ALL 2ND FL CRAFTSMAN HORIZONTAL GRILL HEIGHT (EXCEPT MBATH HERS) IS 12" (OC) DOWN FROM INNER FRAME
- MBATH HERS CRAFTSMAN HORIZONTAL GRILL HEIGHT ON FLANKING CASEMENTS IS TO ALIGN WITH PICTURE WINDOW
- ALL WINDOWS TO HAVE 3 1/2" FLAT CASING, NO APRONS, 1 1/8" SDL BARS (OVOLO), 6 9/16" JAMB AND WHITE HARDWARE
- ALUMINUM SILL NOSE COMPONENT TO EMULATE EXISTING 1 1/4" WOOD
- ALUMINUM CLADDING - STONE WHITE
- INTERIOR WOOD TO BE PAINTED WHITE TO MATCH EXISTING TRIM (BM DECORATOR WHITE)
- MULLED UNITS TO HAVE 3" SPREAD MULL
- SCREENS TO BE WHITE FRAME WITH INVISIBLE STYLE SCREENING



Example 1st Fl Bar Height

Phase I - purchased/installed Winter 2021

REV	DATE	DESCRIPTION
3.2	6/23/22	EN/IN Elevations to field measure
3.3	7/11/22	EN/IN Elevations & new sched
3.4	7/20/22	Window suling takeoffs
3.5	10/14/22	Bathroom Split Preview
3.6	11/11/22	Phase II Window updates
3.7	12/19/22	Labeling

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Cohen Residence
 Renovations

Title: **S Elevation & Window Sched**

DATE:
12/8/2022

SCALE:
1/4" = 1'

SHEET:
A-200



East Elevation



North Elevation

Recent Revision History

REV	DATE	DESCRIPTION
3.2	6/29/22	EN/A Elevations to field measure
3.3	7/11/22	EN/A Elevations & new sched
3.4	7/20/22	Window siding, tweaks
3.5	10/14/22	Bathroom Split, Review
3.6	11/11/22	Phase II Window updates
3.7	12/8/22	Labeling

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Cohen Residence
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Elevations

Title:

DATE:

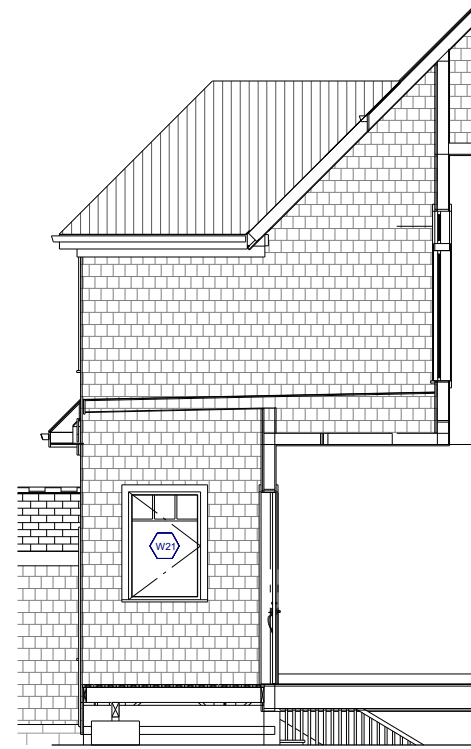
12/8/2022

SCALE:

1/4" = 1'

SHEET:

A-201



BBQ Porch East Side



BBQ Porch West Side



Kitchen Porch East Side



West Elevation

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

Recent Revision History

REV	DATE	DESCRIPTION
3.2	6/29/22	EN/A Elevations to field measure
3.3	7/11/22	EN/A Elevations & new sched
3.4	7/20/22	Window suling tweaks
3.5	10/14/22	Bathroom Split Review
3.6	11/11/22	Phase II Window updates
3.7	12/19/22	Labeling

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Cohen Residence
 Renovations

Elevations

Title:

DATE:

12/8/2022

SCALE:

1/4" = 1'

SHEET:

A-202

Num	Qty	Fl	Room	Style	Notes	Case-Case Measured Overall Width	Case-Sill Nose Measured Overall Height	Calculated FS Width OM-(2*3)	Calculated FS Height OM-(3+.5)
W19	1	2	East Guest Bdrm	Mulled Quad Casement		162.000	64.000	156.000	60.500
W20	1	1	Garage	Sngl Casement-HL		42.000	66.375	36.000	62.875
W44	1	1	Garage	Sngl Casement-HR		42.000	66.375	36.000	62.875
W21	1	1	Garage	Sngl Casement-HR		42.000	58.500	36.000	55.000
W22	1	1	Kitchen	Mulled Dbl Casement		64.375	58.375	58.375	54.875
W23	3	1	Kitchen	Mulled Dbl Casement		80.500	66.500	74.500	63.000
W24	1	1	Kitchen	Sngl Casement-HL		26.125	66.500	20.125	63.000
W25	1	1	Kitchen	Fixed		46.000	66.500	40.000	63.000
W26	1	1	Kitchen	Sngl Casement-HR		26.125	66.500	20.125	63.000
W27	1	1	Family Rm	Sngl Casement-HL	No casing. Nail fin sides and head.	43.000	63.875	37.000	60.375
W28	1	1	Family Rm	Sngl Casement-HR	No casing. Nail fin sides and head.	43.000	63.875	37.000	60.375
W29	1	1	Living Rm	Sngl Casement-HL	No casing. Nail fin sides and head.	43.000	71.875	37.000	68.375
W30	1	1	Living Rm	Sngl Casement-HR	No casing. Nail fin sides and head.	43.000	71.875	37.000	68.375
W31	6	1	Sun Rm	Mulled Dbl Casement w/ Transom	Transom sash 18 3/8"	62.000	95.625	56.000	92.125
W32	1	2	East Guest Bath	Mulled Dbl Casement		80.625	59.000	74.625	55.500
W33	1	2	Upper Lobby	Mulled Csmt/Fixed/Csmt w/Transom	Mulled unit dimensions	94.375	84.500	88.375	81.000
W33.1				Left Casement HL	Shares casing with picture unit		67.750		64.250
W33.2				Picture	No grill at center. See elevation	46.875		40.875	
W33.3				Right Casement HR	Shares casing with picture unit		67.750		64.250
W33.4				Transom	Sill meets picture window frame	46.875		40.875	
W34	1	2	O Bdrm	Mulled Dbl Casement		80.625	58.500	74.625	55.000
W35	2	2	O Bath	Sngl Casement-HL		30.000	44.500	24.000	41.000
W36	3	2	B Bdrm	Mulled Dbl Casement		80.500	58.500	74.500	55.000
W37	1	2	Library	Mulled Csmt/Csmt/Csmt		119.000	52.500	113.000	49.000
W38	1	2	Balcony	Mulled Dbl Casement		80.500	52.500	74.500	49.000
W39	1	2	West Guest Hall	Sngl Casement-HL		43.125	60.000	37.125	56.500
W40	1	2	West Guest Bath	Sngl Casement-HR		43.125	60.000	37.125	56.500
W41	1	2	West Guest Bath	Sngl Casement-HL		43.125	60.000	37.125	56.500
W42	1	2	West Guest Bdrm	Sngl Casement-HL		42.000	40.375	36.000	36.875
W43	1	2	West Guest Bdrm	Sngl Casement-HR		42.000	40.375	36.000	36.875
	36								

- Phase II window notes:**
- All windows to be from the Marvin Ultimate collection to match the Phase I chosen product line
 - All 1st fl craftsman horizontal grill bar height is 18 7/8" (oc) down from top of head casing, resulting in 12 7/16" DLO
 - All 2nd fl craftsman to have a DLO height 2" less than 1st fl craftsman windows
 - Upper Lobby craftsman horizontal grill height on flanking casements is to align with picture window
 - All windows to have 3 1/2" flat casing, no aprons, 1 1/8" sdl bars (Ovolo), 6 9/16" jamb and white hardware
 - Aluminum Sill nose component to emulate existing 1 1/4" wood
 - Aluminum cladding - Stone White
 - Interior wood to be painted white to match existing trim (BM Decorator White)
 - Muller units to have 3" spread mull
 - Screens to be white frame with invisible style screening

Phase II Window Schedule

REV	DATE	DESCRIPTION
3.2	6/29/22	EN/W Elevations to field measure
3.3	7/11/22	EN/W Elevations & new sched
3.4	7/20/22	Window sash, lites, &
3.5	10/14/22	Bathrooms Spill Review
3.6	11/11/22	Phase II Window updates
3.7	12/02/22	Labeling

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Cohen Residence
 Renovations

N/E/W Window
 Schedule

Title:

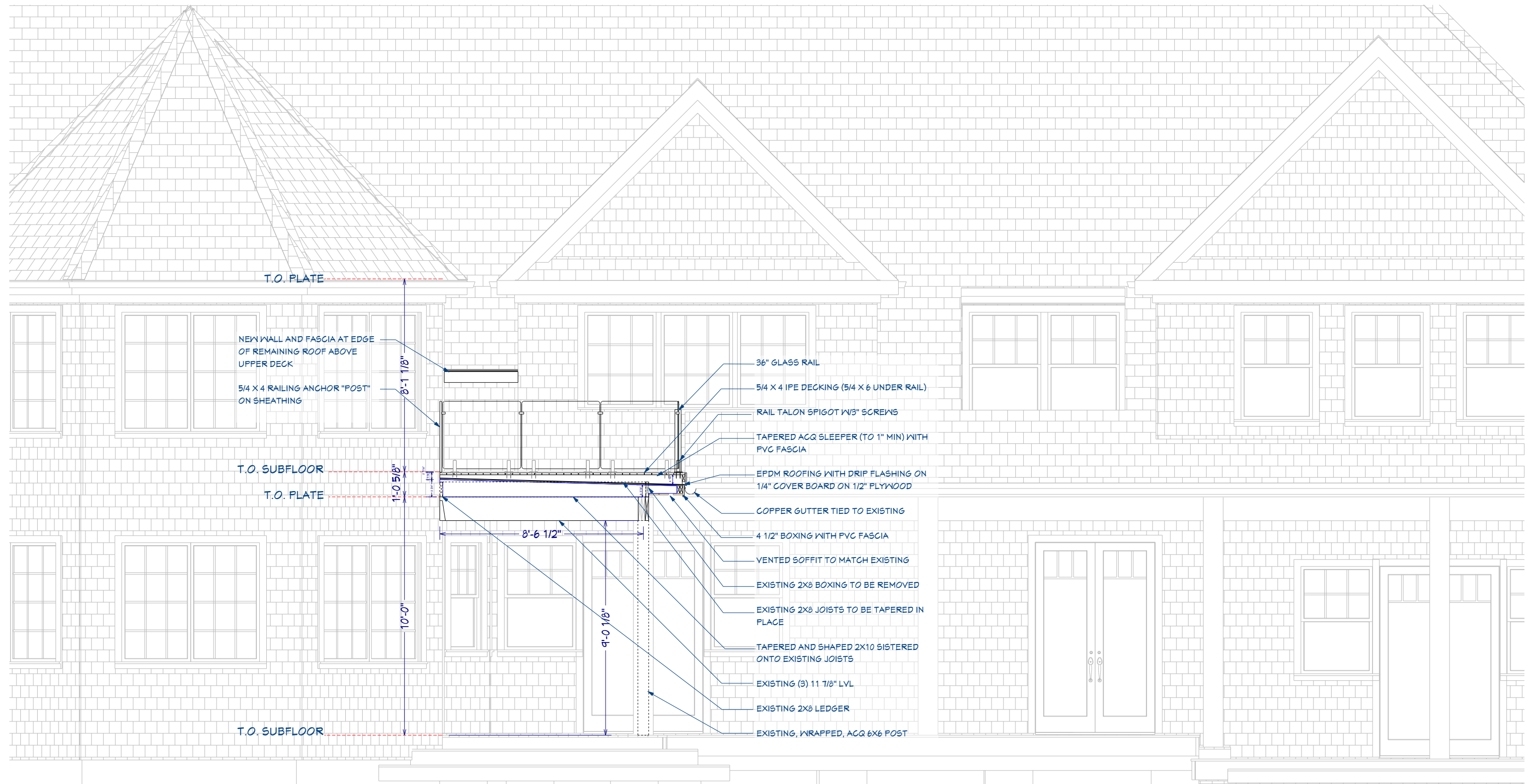
DATE:

12/8/2022

SCALE:

SHEET:

A-203



Roof Deck Section 1

Scale: 1/2" = 1'

Recent Revision History

REV	DATE	DESCRIPTION
3.2	6/29/22	E/N/A Elevations to field measure
3.3	7/11/22	E/N/A Elevations & new sched
3.4	7/27/22	Window sump trucks
3.5	10/14/22	Bathrooms Spill Treatm
3.6	11/11/22	Please II Window updates
3.7	12/9/22	Labeling

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Cohen Residence
 Renovations

Title:
Section Drawings

DATE:

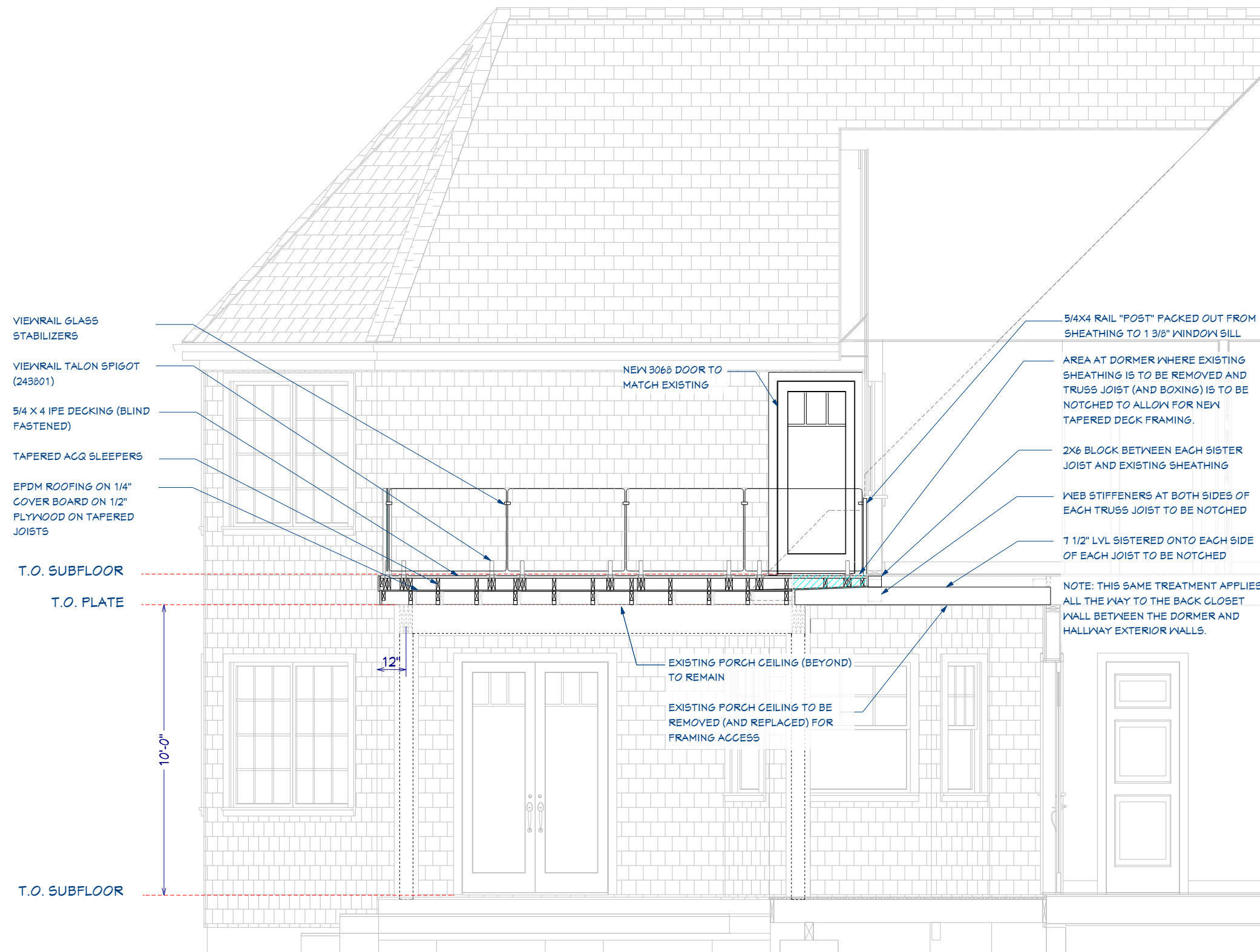
12/8/2022

SCALE:

1/2" = 1'

SHEET:

A-300



Roof Deck Section 2

Scale: 1/2" = 1'

REV	DATE	DESCRIPTION
3.2	6/29/22	EN/A Elevations to field measure
3.3	7/11/22	EN/A Elevations & new sched
3.4	7/20/22	Window suling, lueaks
3.5	10/14/22	Bathrooms, Spill, Trevala
3.6	11/11/22	Please II Window updates
3.7	12/9/22	Labeling

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Cohen Residence
 Renovations

Title:
Section Drawings

DATE:

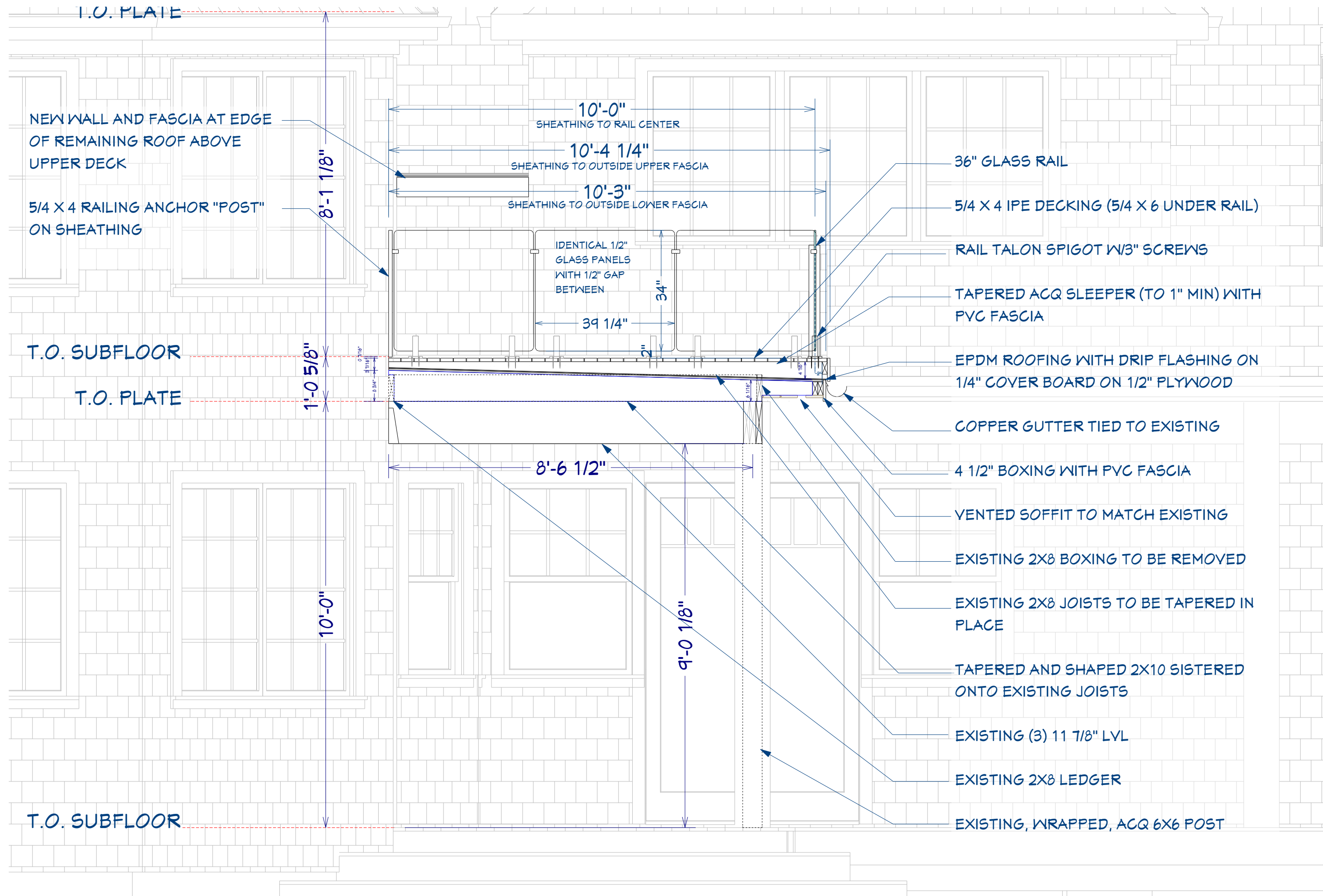
12/8/2022

SCALE:

1/2" = 1'

SHEET:

A-301



Upper Deck Section 1

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

Recent Revision History

REV	DATE	DESCRIPTION
3.2	6/29/22	ENR Elevations to field measure
3.3	7/11/22	ENR Elevations & new sched
3.4	7/20/22	Window suling, leaks
3.5	10/14/22	Bathrooms Spill, Review
3.6	11/11/22	Phase II Window updates
3.7	12/9/22	Labeling

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 516-482-8502

Cohen Residence
 Renovations

Section Details

Title:

DATE:

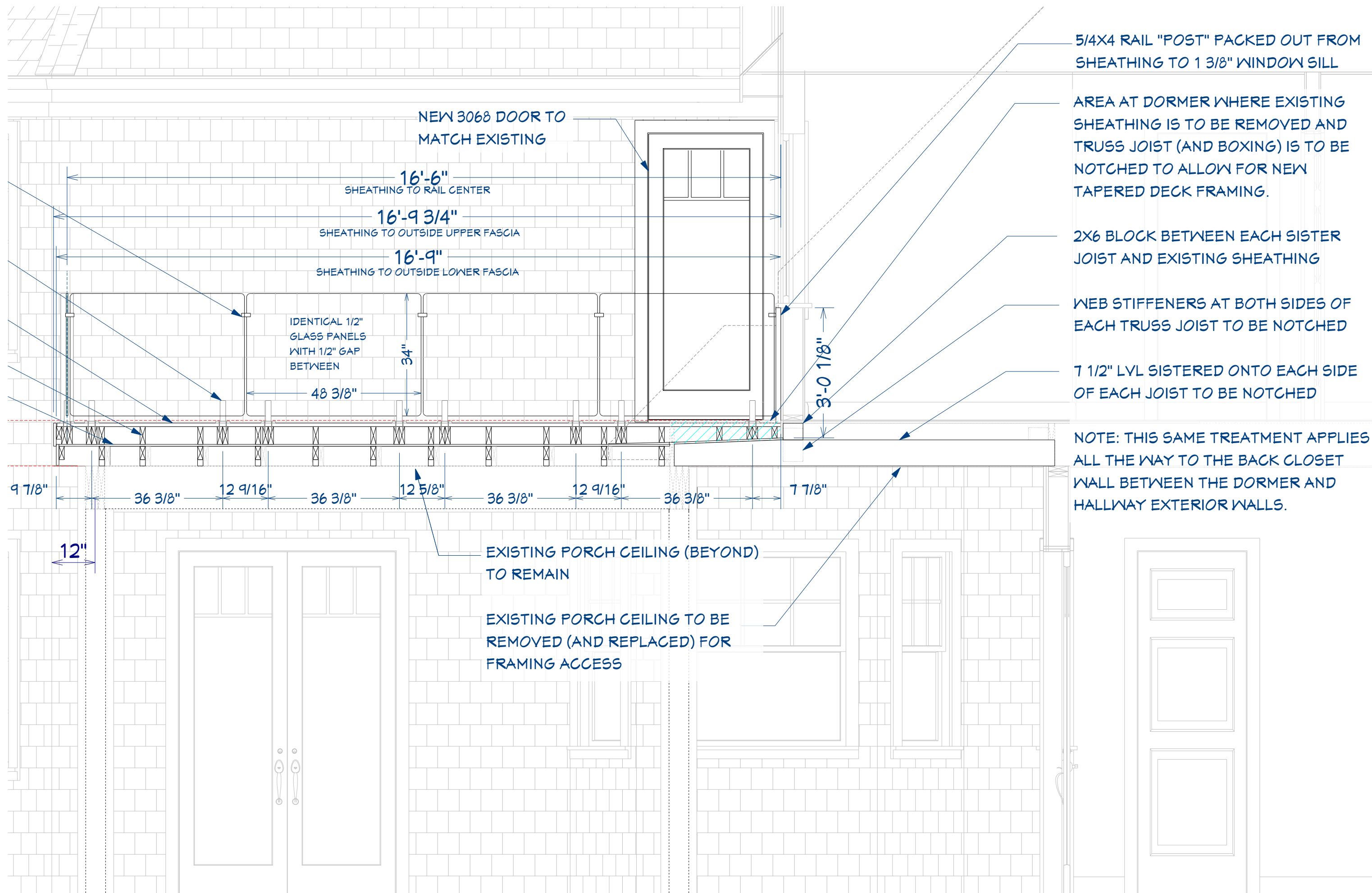
12/8/2022

SCALE:

1" = 1'

SHEET:

A-400



Recent Revision History

REV	DATE	DESCRIPTION
3.2	6/29/22	EN/NA Elevations to field measure
3.3	7/11/22	EN/NA Elevations & new sched
3.4	7/20/22	Window sills, truss
3.5	10/14/22	Bathroom Spill Review
3.6	11/11/22	Phase II Window updates
3.7	12/9/22	Labeling

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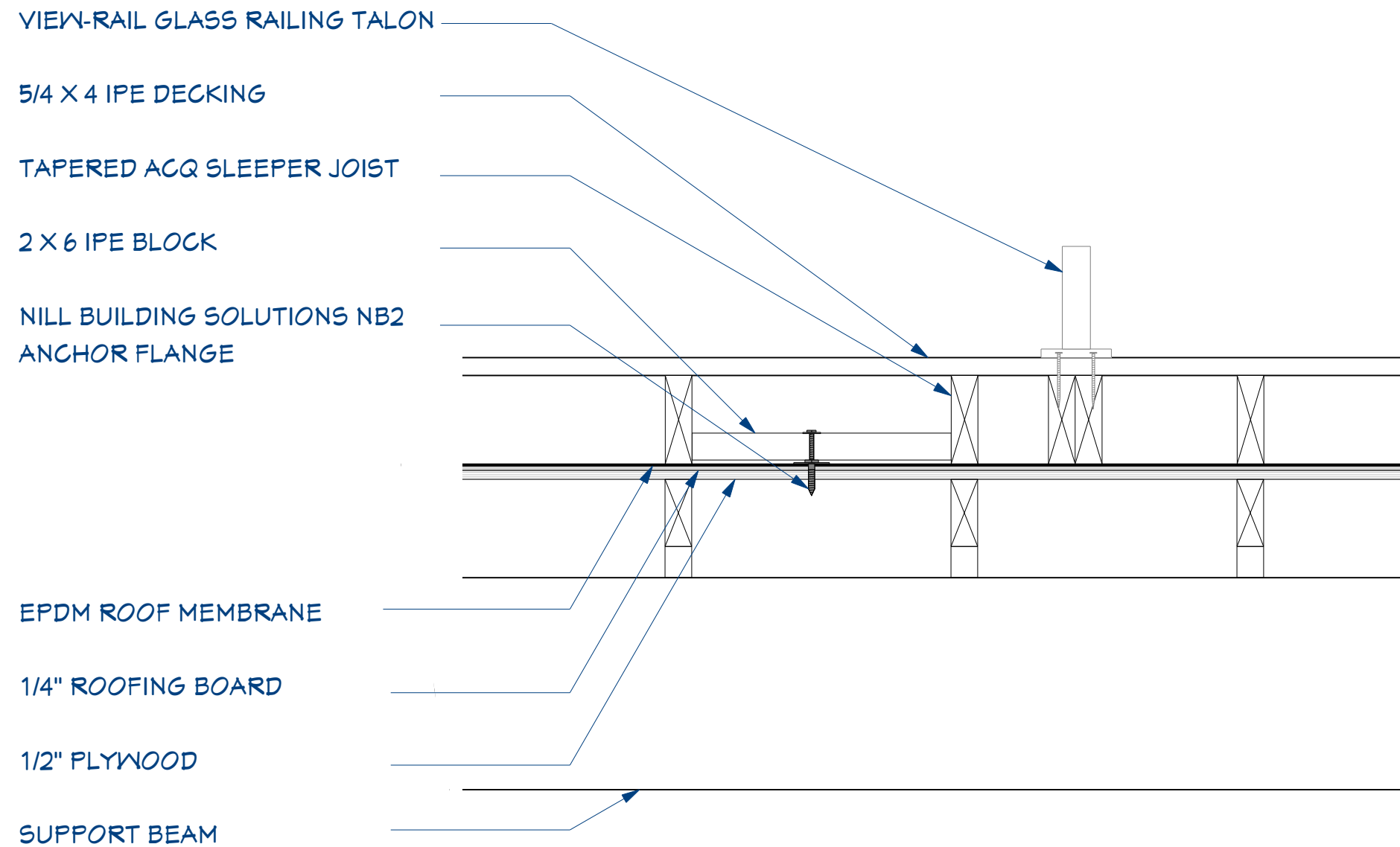
Section Details

Title:
 DATE:
 12/8/2022
 SCALE:
 1" = 1'
 SHEET:
A-401

Upper Deck Section 2

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.



Upper Deck Section 2 Detail (Fastening Sleepers through membrane)

Scale: 3" = 1'

REV	DATE	DESCRIPTION
3.2	6/29/22	E/N/A Elevations to field measure
3.3	7/11/22	E/N/A Elevations & new sched
3.4	7/20/22	Window siding, leaks
3.5	10/14/22	Bathrooms, Spill, Trivler
3.6	11/11/22	Please II Window updates
3.7	12/9/22	Labeling

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Section Details

Title:

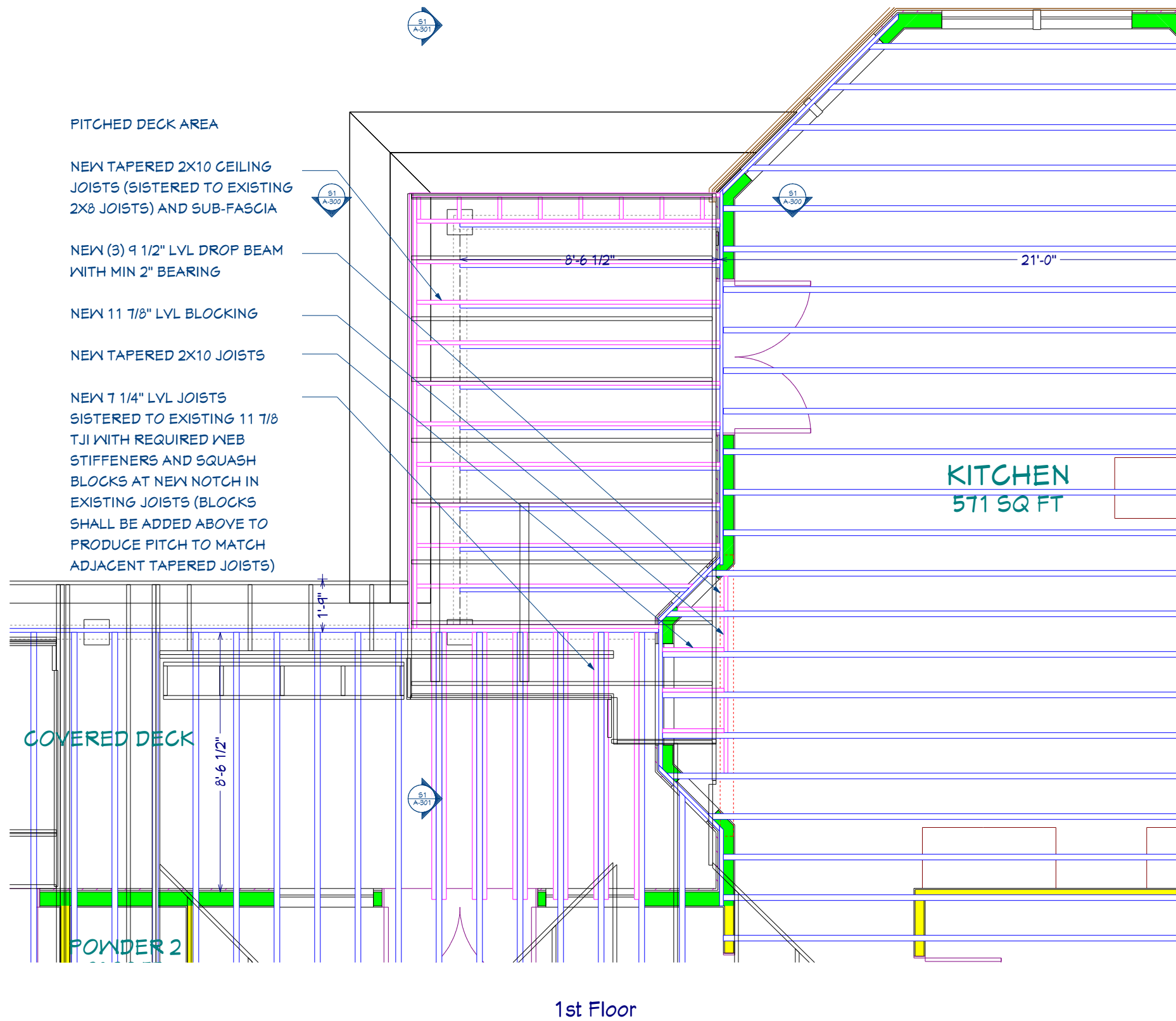
DATE:

12/8/2022

SCALE:

SHEET:

A-402



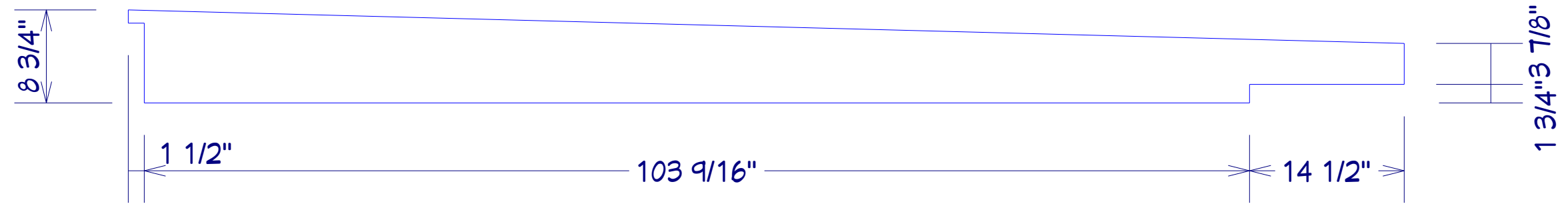
- PITCHED DECK AREA
- NEW TAPERED 2X10 CEILING JOISTS (SISTERED TO EXISTING 2X8 JOISTS) AND SUB-FASCIA
- NEW (3) 9 1/2" LVL DROP BEAM WITH MIN 2" BEARING
- NEW 11 7/8" LVL BLOCKING
- NEW TAPERED 2X10 JOISTS
- NEW 7 1/4" LVL JOISTS SISTERED TO EXISTING 11 7/8 TJI WITH REQUIRED WEB STIFFENERS AND SQUASH BLOCKS AT NEW NOTCH IN EXISTING JOISTS (BLOCKS SHALL BE ADDED ABOVE TO PRODUCE PITCH TO MATCH ADJACENT TAPERED JOISTS)

KITCHEN
571 SQ FT

COVERED DECK

POWDER 2

1st Floor



Tapered Ceiling Joist Detail

Scale: 2" = 1'

REV	DATE	DESCRIPTION
3.2	6/29/22	E/N/A Elevations to field measure
3.3	7/11/22	E/N/A Elevations & new sched
3.4	7/20/22	Window suling, lueaks
3.5	10/14/22	Bathrooms Spill, Trveler
3.6	11/11/22	Please II Window updates
3.7	12/19/22	Labeling

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Cohen Residence
 Renovations

Title:
Deck & Floor Framing

DATE:

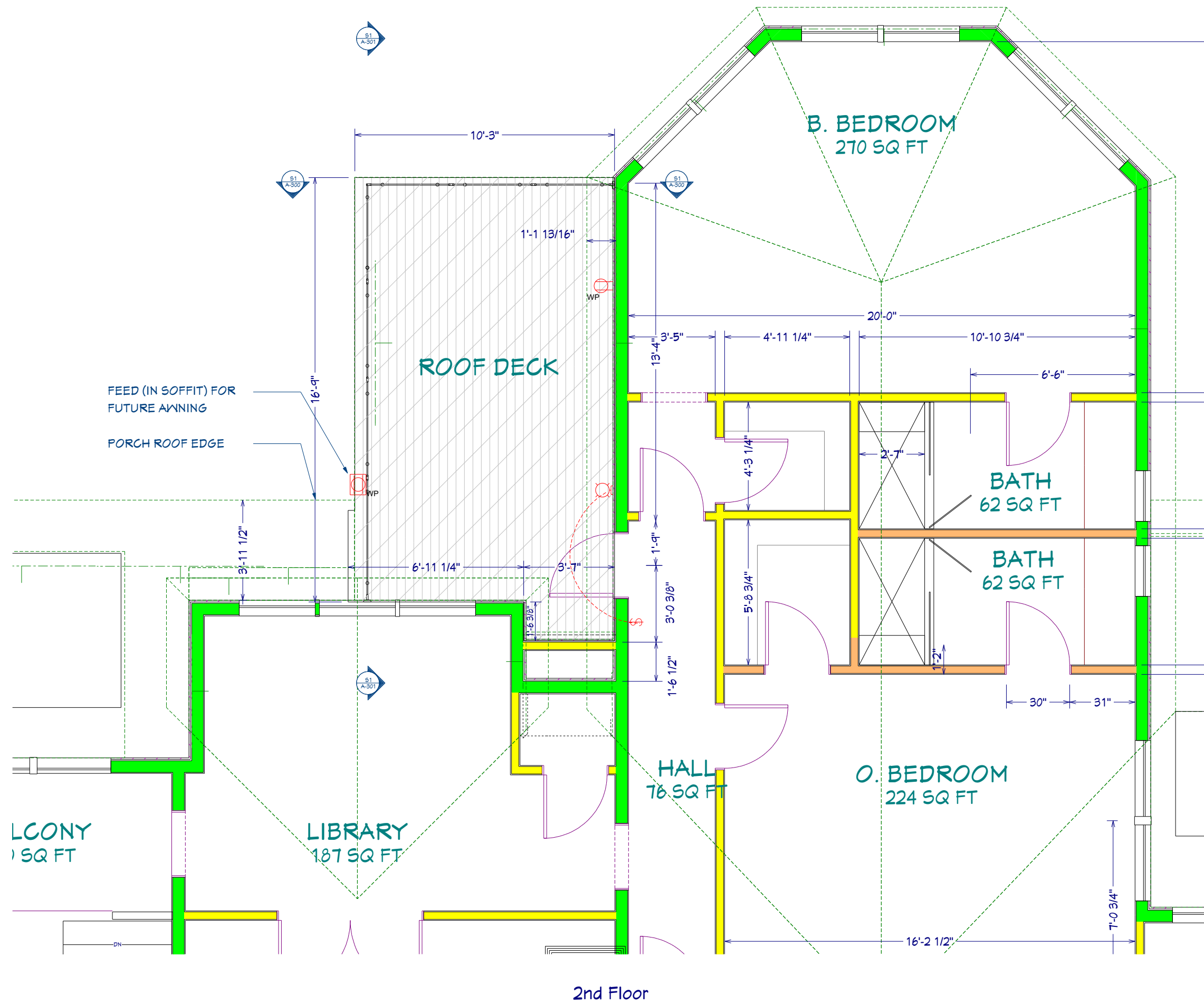
12/8/2022

SCALE:

1/2" = 1'

SHEET:

F-100



Recent Revision History

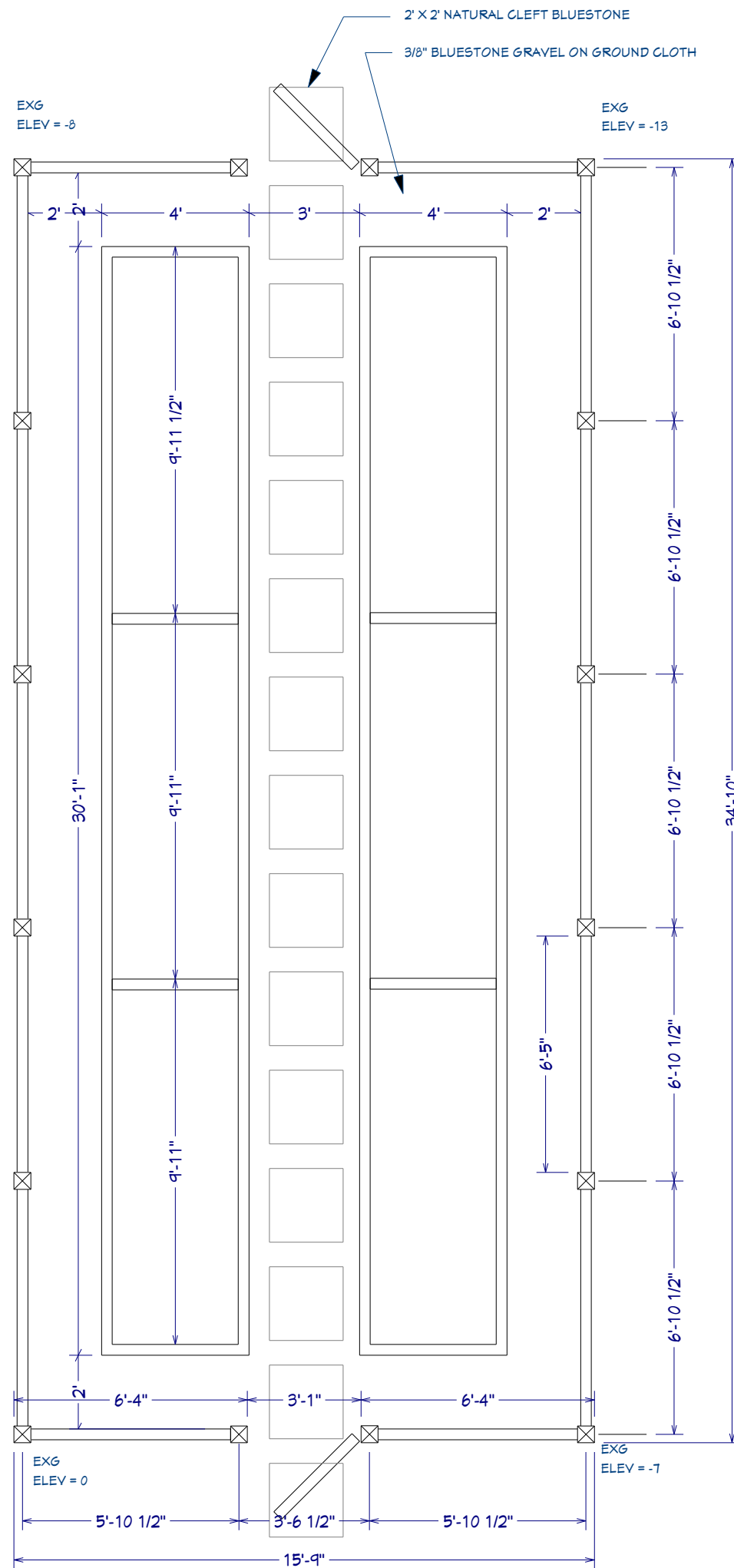
REV	DATE	DESCRIPTION
3.2	6/29/22	EN/A Elevations to field measure
3.3	7/11/22	EN/A Elevations & new sched
3.4	7/20/22	Window suling, lueaks
3.5	10/14/22	Bathrooms Split, Trivels
3.6	11/11/22	Phase II Window updates
3.7	12/9/22	Labeling

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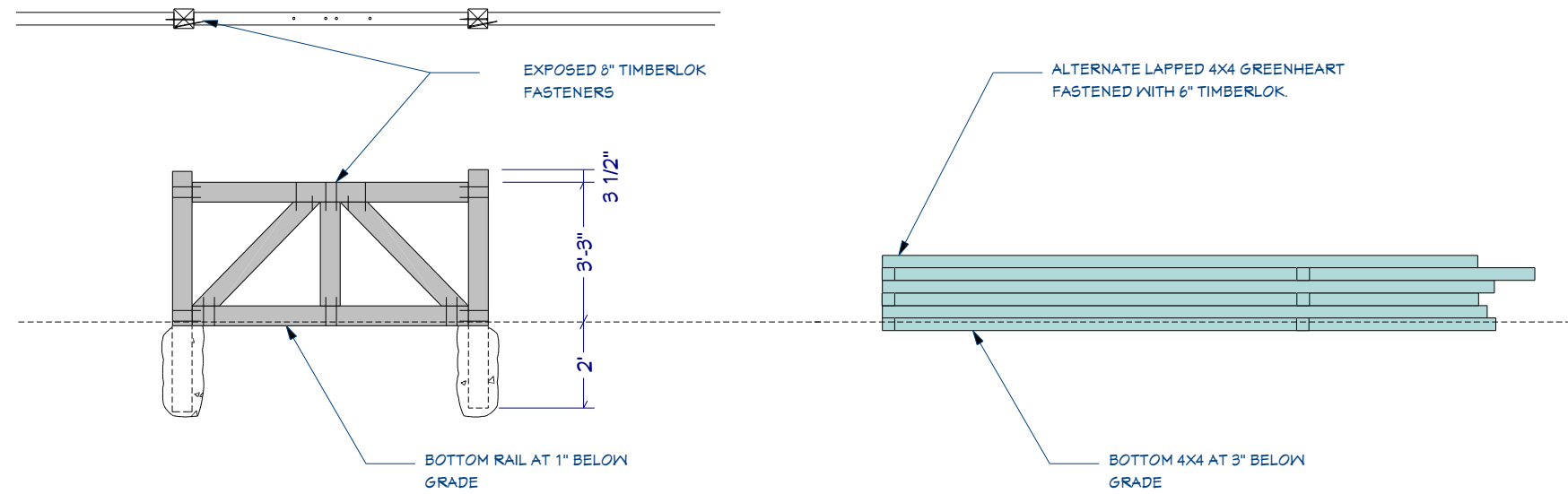
Cohen Residence
 Renovations

Deck Electrical

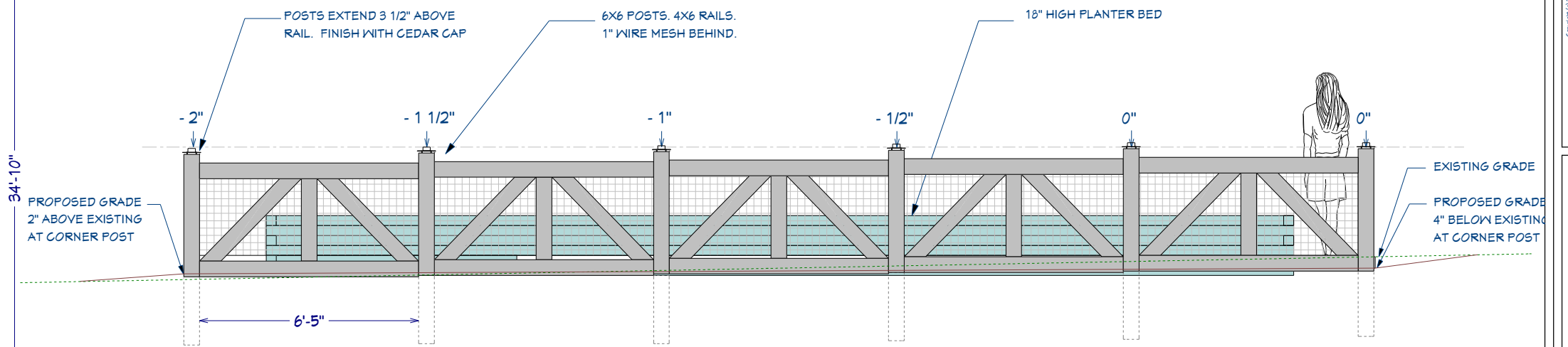
Title:
 DATE: 12/8/2022
 SCALE: 1/2" = 1'
 SHEET: **E-100**



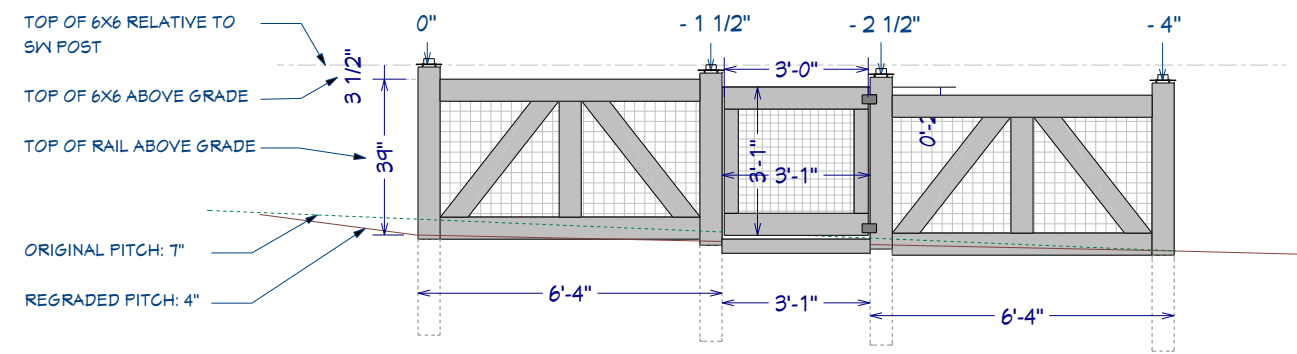
Garden Plan



Details



West Elevation (Note: East Elev has same proposed pitch)



South Elevation (Note: North Elev has same proposed pitch)

REV	DATE	DESCRIPTION
3.2	6/29/22	EN/VA Elevations to field measure
3.3	7/11/22	EN/VA Elevations & new sched
3.4	7/20/22	Window suling, lueaks
3.5	10/14/22	Bathroom Spill, Trevala
3.6	11/11/22	Please II Window updates
3.7	12/9/22	Labeling

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Cohen Residence
Renovations

Garden Details

Title:

DATE:

12/8/2022

SCALE:

1/2" = 1'

SHEET:

A-600



Motion Sensor Range

Scale: 1" = 15'

All dimensions to be verified in field

Note: 100% scale when printed on ARCH D. 50% scale on ARCH B.

Recent Revision History

REV	DATE	DESCRIPTION
3.2	6/29/22	EN/A Elevations to field measure
3.3	7/11/22	EN/A Elevations & new sched
3.4	7/20/22	Window siding, trunks
3.5	10/14/22	Bathrooms, Spill, Trunks
3.6	11/11/22	Please II Window updates
3.7	12/9/22	Labeling

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Cohen Residence
 Renovations

Title:
Motion Sensing Layout

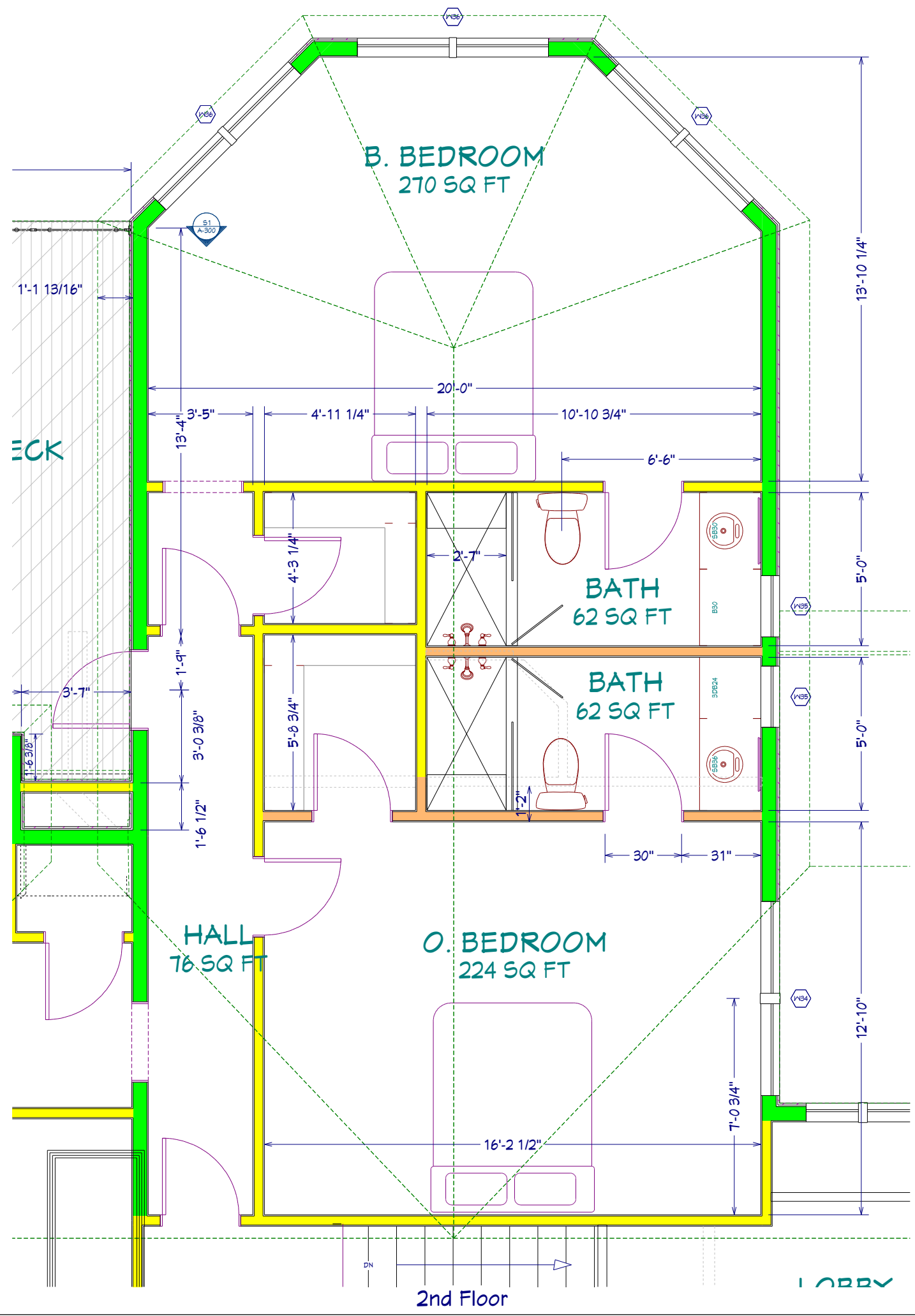
DATE:

12/8/2022

SCALE:

SHEET:

A-601



Recent Revision History

REV	DATE	DESCRIPTION
3.2	6/29/22	EN/A Elevations to field measure
3.3	7/11/22	EN/A Elevations & new sched
3.4	7/20/22	Window siding, Lueaks
3.5	10/14/22	Bathrooms Split Travels
3.6	11/11/22	Phase II Window updates
3.7	12/9/22	Labeling

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Cohen Residence
 Renovations

Split Bath

Title:
 DATE:
 12/8/2022
 SCALE:
 SHEET:
A-602