

DESIGN LOADS

STRUCTURAL MEMBERS HAVE BEEN DESIGNED FOR FULL DEAD LOADS AND THE FOLLOWING LIVE LOADS IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE:

- BUILDING CATEGORY: II
- IMPORTANCE FACTOR:
WIND (I_w) = 1.0;
SNOW (I_s) = 1.0
SEISMIC (I_e) = 1.0
- GROUND SNOW LOAD: 20 PSF
- ROOF LIVE LOAD: 20 PSF
- LIVING AREA LIVE LOAD: 40 PSF
- SLEEPING AREA LIVE LOAD: 30 PSF
- WIND LOAD:
V_{ult} = 138 MPH
WIND EXPOSURE: B
VELOCITY PRESSURE EXPOSURE COEFFICIENT, K_Z 0.85
DIRECTIONALITY FACTOR, K_d: 0.85
GUST EFFECT FACTOR, G: 0.85
INTERNAL PRESSURE COEFFICIENT, GCPI: ±0.18

ABBREVIATIONS COMMONLY USED:

A.F.F. - ABOVE FINISHED FLOOR
ALUM. - ALUMINUM
& - AND
@ - AT
BLDG. - BUILDING
CMU - CONCRETE MASONRY UNIT
CONC. - CONCRETE
DBL. - DOUBLE
EA. - EACH
ELEC. - ELECTRICAL
E.P.S. - EXPANDED POLYSTYRENE
EXT. - EXTERIOR
EXTG. - EXISTING
F.D. - FLOOR DRAIN
FT. - FEET
GA. - GAUGE
GALV. - GALVANIZED
GWB - GYPSUM WALL BOARD
H. - HIGH
HORIZ. - HORIZONTAL
I.D. - INSIDE DIAMETER
INSUL. - INSULATION
INT. - INTERIOR
L. - LENGTH, LONG
LAV. - LAVATORY
MACH. - MACHINE
MAX. - MAXIMUM
MFR. - MANUFACTURER
MIN. - MINIMUM
M.P.H. - MILES PER HOUR
MTL. - METAL
NEO. - NEOPRENE
N.I.C. - NOT IN CONTRACT
O.C. - ON CENTER
O.D. - OUTSIDE DIAMETER
OPP. - OPPOSITE
PLAS. LAM. - PLASTIC LAMINATE
PLYWD. - PLYWOOD
P.S.F. - POUNDS PER SQUARE FOOT
P.S.I. - POUNDS PER SQUARE INCH
P.T. - PRESSURE TREATED
REINF. - REINFORCING
R.O. - ROUGH OPENING
RUN. - RUNNER
SHT. - SHEET
SHTNG. - SHEATHING
SIM. - SIMILAR
S-N-L - SNAP-N-LOCK
S.M.S. - SHEET METAL SCREW
SPECS - SPECIFICATIONS
S.S. - STAINLESS STEEL
STL. - STEEL
T&G - TONGUE AND GROOVE
TYP. - TYPICAL
U.O.N. - UNLESS OTHERWISE NOTED
VERT. - VERTICAL
V.I.F. - VERIFY IN FIELD
W. - WITH
W.C. - WATER CLOSET
WD. - WOOD
W.H. - WATER HEATER
WO - WITHOUT
W.W.F. - WELDED WIRE FABRIC

GENERAL NOTES:

- THE DESIGN OF THE BUILDINGS AND STRUCTURES HEREIN ARE IN ACCORDANCE WITH THE CODE PRESCRIBED IN 2020 NYSRC AND IECC-2018. ADDITIONALLY, ALL WORK MUST CONFORM TO THESE CODES AND ALL OTHER ORDINANCES, REGULATIONS AND REQUIREMENTS OF LOCAL, COUNTY, STATE, NATIONAL BUILDING SAFETY CODES AND OTHER AGENCIES AND AUTHORITIES HAVING JURISDICTION OVER THE PROJECT.
- ALL HEATING AND COOLING EQUIPMENT TO BE SIZED PER ACCA MANUAL S BASED ON LOADS CALCULATED PER ACCA MANUAL J AND TO BE INSULATED WITH PROTECTIVE COVERING ON ALL PIPING AS PER INDUSTRY STANDARDS.
- DO NOT SCALE DIMENSIONS OFF DRAWINGS. USE WRITTEN OR CALCULATED DIMENSIONS. ALL CONTRACTORS ARE RESPONSIBLE FOR CHECKING DIMENSIONS BEFORE ESTIMATING, ORDERING OR STARTING WORK.
- ERRORS OR OMISSIONS, IN ANY SCHEDULE OR DRAWING MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY.
- ANY DISCREPANCIES FOUND IN THE PLANS, DIMENSIONS, EXISTING CONDITIONS OR ANY APPARENT ERROR IN CLASSIFYING OR SPECIFYING ANY PRODUCT, MATERIAL OR METHOD OF ASSEMBLY MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY. A WRITTEN ADDENDUM SHALL BE ISSUED AS NECESSARY AND SHALL BECOME A PART OF THE CONTRACT DOCUMENTS THEREIN.
- DIMENSIONS AND DETAILS OF EXISTING CONSTRUCTION GIVEN IN DRAWINGS ARE APPROXIMATE AND ARE BASED ON LIMITED INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATIONS AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM IMMEDIATELY.
- OPENINGS SHALL NOT BE MADE IN ANY STRUCTURAL MEMBER UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVED BY THE ENGINEER.
- ALL EXTERIOR EXPOSED WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO ASSURE WEATHER TIGHT CONDITION.
- NO NOTE OR LACK THEREOF SHALL BE CONSTRUED AS RELIEVING ANY CONTRACTOR FROM EXECUTING ALL WORK IN CONFORMANCE AS NOTED ABOVE.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ACTS OF OMISSION OF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR OR AGENTS OR ANY OTHER PERSONS PERFORMING THE WORK.
- THE GENERAL CONTRACTOR IS TO SUPPLY SAMPLES OF ALL MATERIAL FINISHES AND COLORS FOR FINAL APPROVAL BY THE OWNER PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TRADES WITH EACH OTHER TO AVOID CONFLICTS RESULTING FROM THE LOCATION OF SUPPLY LINES AND EQUIPMENT TO SATISFY THE OVERALL DESIGN OF THE PROJECT.
- ALL CONTRACTORS SHALL BEAR THE TOTAL EXPENSE FOR AND SHALL REPAIR, TO EXISTING CONDITIONS, ANY DAMAGE TO EXISTING CONSTRUCTION, EQUIPMENT OR IMPROVEMENTS.
- ALL CONTRACTORS SHALL BEAR THE TOTAL EXPENSE FOR AND SHALL REPAIR ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES.
- ALL CONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL PLANS AND SPECIFICATIONS. IT IS THE RESPONSIBILITY OF ALL TRADES TO COORDINATE THEIR JOBS WITH OTHER TRADES AND PERFORM THEIR JOB IN A WORKPERSON-LIKE MANNER AND ACCORDING TO THE ABOVE SAID BUILDING AND SAFETY CODES.
- ALL CONTRACTORS ARE RESPONSIBLE FOR PROTECTING THE STRUCTURE AND FINISHES DURING CONSTRUCTION, INSTALLATION AND UNTIL FINAL PAYMENT.
- THE INSTALLER SHALL PROVIDE ADEQUATE TEMPORARY BRACING, SHORING & GUYING OF FRAMING AGAINST WIND, CONSTRUCTION LOADS & OTHER TEMPORARY FORCES UNTIL NO LONGER REQUIRED FOR THE SUPPORT OF THE FRAMING.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE PROPER PERFORMANCE OF THEIR WORK, PRODUCT INSTALLATION AS PER MANUFACTURER'S SPECIFICATIONS, COORDINATION WITH OTHER TRADES AND SAFETY AND SECURITY ON THE JOB SITE. THE DESIGN AND ENGINEERING TEAMS AND ALL THEIR AGENTS AND EMPLOYEES ARE NOT RESPONSIBLE OR LIABLE FOR THE ABOVE AND SHALL BE HELD HARMLESS AND INDEMNIFIED BY ALL CONTRACTORS FROM ANY AND ALL CLAIMS, LOSSES, SUITS AND LEGAL ACTION WHATSOEVER ARISING FROM THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL CONTRACTORS TO OBTAIN A COPY OF AND ADHERE TO ANY AND ALL ASSOCIATED BUILDING PERMIT REQUIRED DOCUMENTATION (E.G. US DEPT OF ENERGY RES-CHECK REPORT, ACCA MANUAL REPORTS, ETC)

PROPOSED RENOVATIONS

- RENOVATED KITCHEN (SWAP WINDOW WITH SLIDER)
- RENOVATED SITTING RM (REMOVE BATHROOM, REPLACE EXT DOOR AND WINDOW WITH SLIDERS)
- RENOVATED ENTRY (INCREASE WALL OPENING TO SITTING RM AND FLIP FIREBOX)
- NEW REAR DECK
- NEW STEPPING STONES
- INCREASED POOL PATIO

Sheet	Title
S-001	Site Plan
A-001	Existing Foundation & Demo Plan
A-002	Existing 1st Fl & Demo Plan
A-003	Existing 2nd Fl & Demo Plan
A-101	First Floor Plan
A-102	Second Floor Plan
A-200	Elevations
A-201	Elevations
F-100	Deck Foundation Framing Plan

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD (PSF)	20
WIND SPEED (MPH)	138
WIND TEMPERATURE EFFECTS	NO
SPECIAL WIND REGION	YES
SEISMIC DESIGN CATEGORY	B
WEATHERING DAMAGE POTENTIAL	SEVERE
TERMITE DAMAGE POTENTIAL	MOD. TO HEAVY
FROST LINE DEPTH DAMAGE POTENTIAL (IN.)	36
WINTER DESIGN TEMPERATURE (DEG.)	15
ICE BARRIER UNDERLAYMENT REQUIREMENT	YES
FLOOD HAZARD	NO
AIR FREEZING INDEX	452
MEAN ANNUAL TEMPERATURE (DEG.)	57.2

REV	DATE	DESCRIPTION
2.4	4/18/23	Interior Renovations
2.5	12/15/23	Preliminary Permit Set
2.6	12/13/23	Fireplace
2.7	2/21/24	Framing Plan, Deck Layout
2.8	3/12/24	Framing Details
2.9	3/17/24	Electrical Details

Engineering: **A. S. Engineering Services, P.C.**
681-560-0294

Design: **Webb Builders, Inc.**
516-482-9502

Hourani Residence Renovations

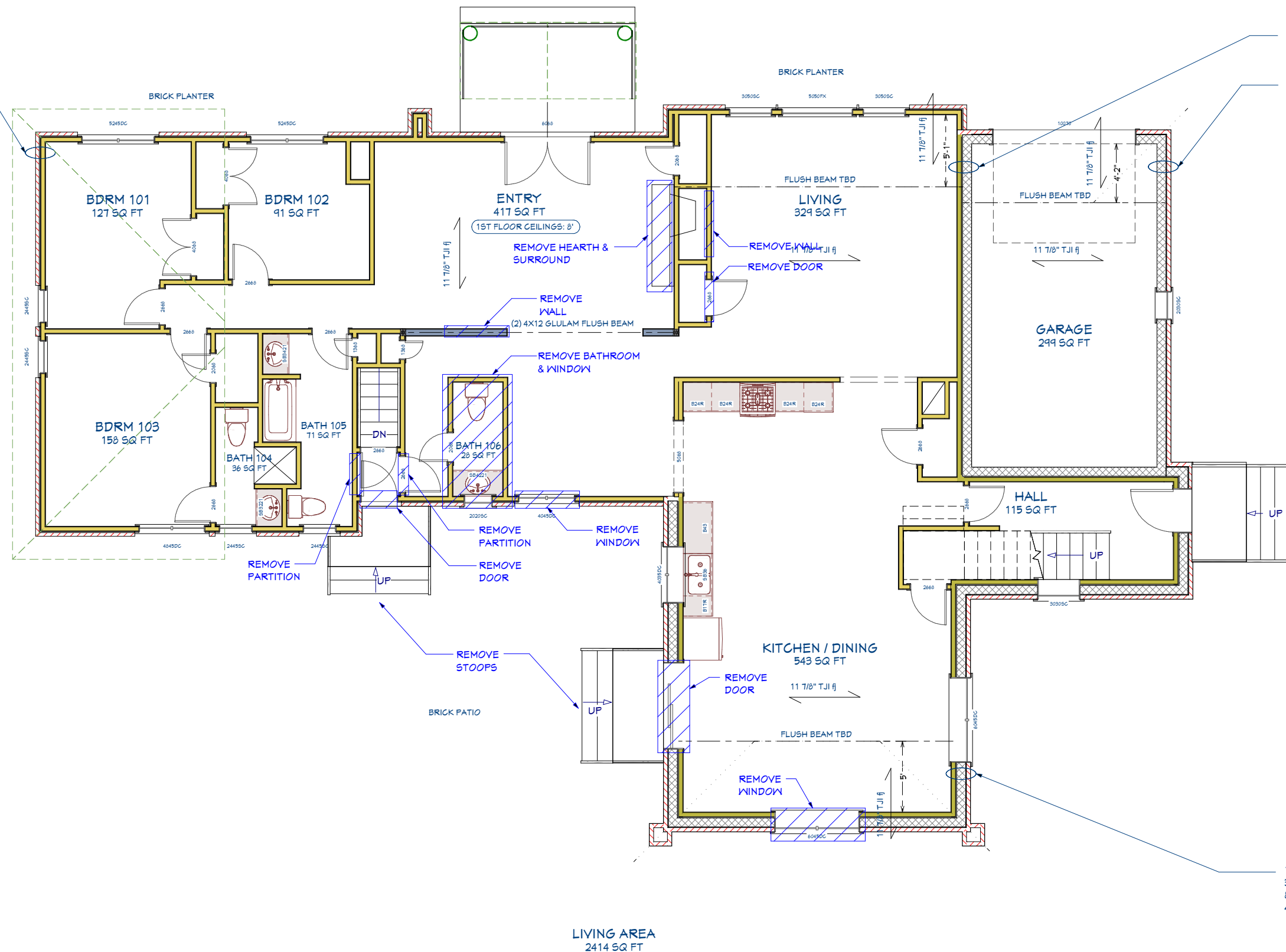
Title: **Site Plan**

DATE: 3/8/2024

SCALE: 1" = 12'

SHEET: S-001

1/2" GNB
3 1/2" WOOD FRAMING
1/2" PLYWOOD
4" BRICK



1/2" GNB
3 1/2" WOOD FRAMING
8" CMU / 4" BRICK MIX
8" CMU
4" BRICK

1/2" GNB
3 1/2" WOOD FRAMING
8" CMU
4" BRICK

Existing 1st Floor

REV	DATE	DESCRIPTION
2.4	4/18/23	Interior Renovations
2.5	12/15/23	Preliminary Permit Set
2.6	12/31/23	Fireplace
2.7	2/21/24	Framing Plan, Deck Layout
2.8	3/2/24	Framing Details
2.9	3/7/24	Electrical Details

Design: **Webb Builders, Inc.**
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107 Duane Ave. Suite 210 Hempstead, NY

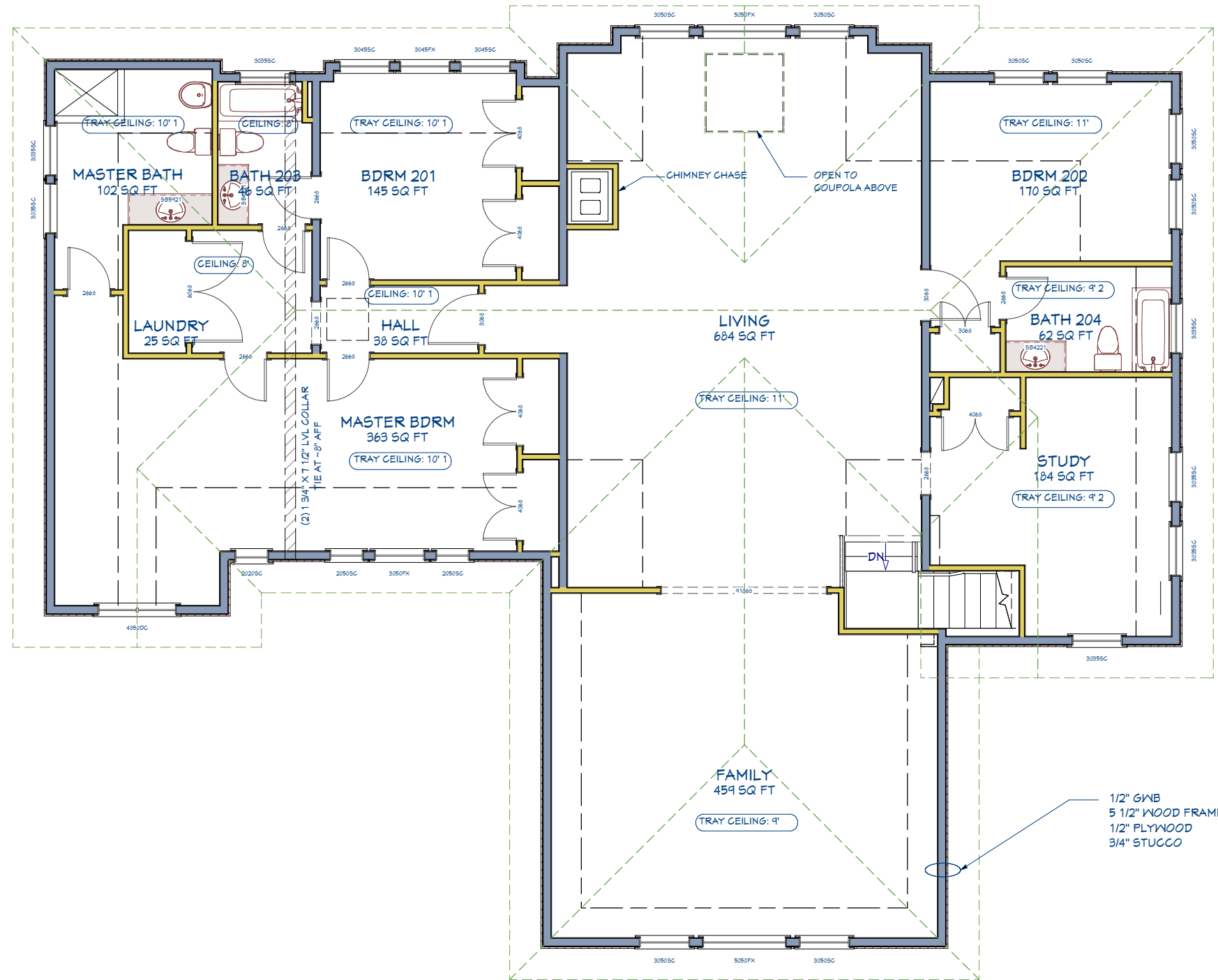
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Title: **Existing 1st Fl & Demo Plan**

DATE: 3/8/2024

SCALE: 1/4" = 1'

SHEET: **A-002**



1/2" G/WB
 5 1/2" WOOD FRAMING
 1/2" PLYWOOD
 3/4" STUCCO

Existing 2nd Floor (No Changes)

REV	DATE	DESCRIPTION
2.4	4/18/23	Interior Renovations
2.5	12/15/23	Preliminary Permit Set
2.6	12/31/23	Fireplace Permit Set
2.7	2/21/24	Framing Plan, Deck Layout
2.8	3/2/24	Framing Details
2.9	3/7/24	Electrical Details

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Title:
Existing 2st Fl & Demo Plan

DATE:

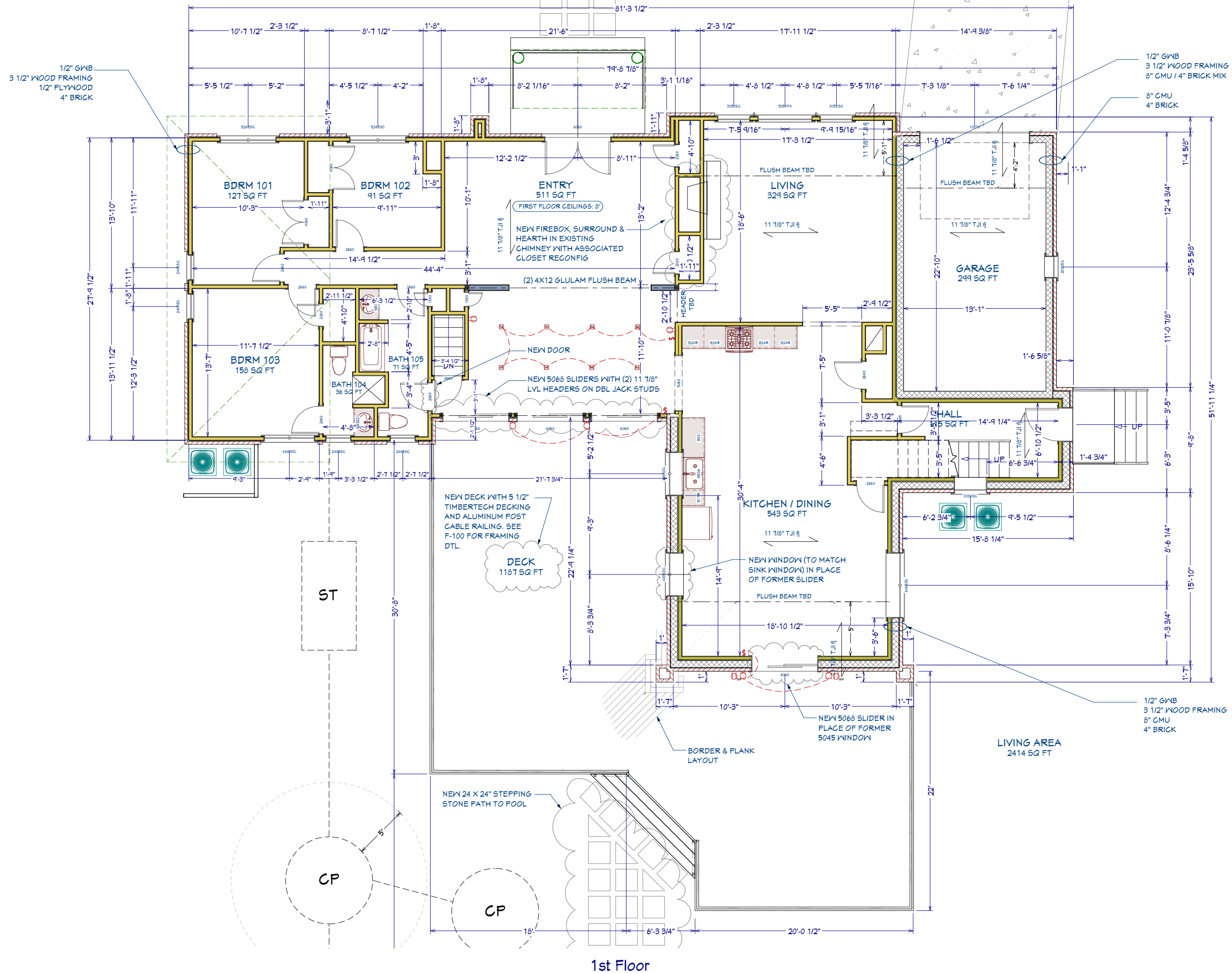
3/8/2024

SCALE:

1/4" = 1'

SHEET:

A-003



1st Floor

Recent Revision History

REV	DATE	DESCRIPTION
2.4	4/18/23	Interior Renovations
2.5	12/15/23	Preliminary Permit Set
2.6	12/13/23	Fireplace
2.7	2/21/24	Fireplace Plan, Deck Layout
2.8	5/2/24	Framing Details
2.9	3/7/24	Electrical Details

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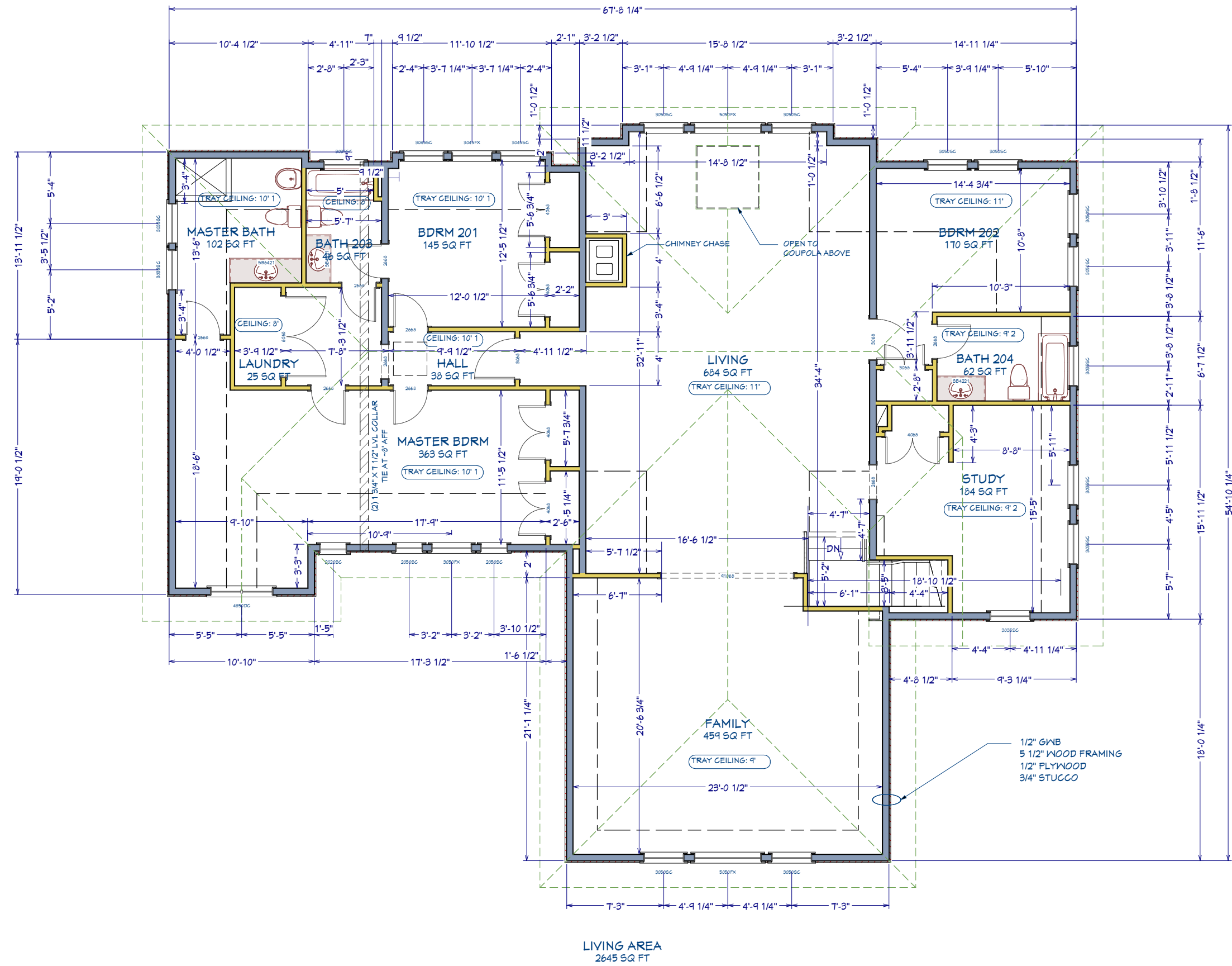
Hourani Residence Renovations

Title: **First Floor Plan**

DATE: 3/8/2024

SCALE: 1/4" = 1'

SHEET: **A-101**



2nd Floor (No Changes)

REV	DATE	DESCRIPTION
2.4	4/18/23	Interior Renovations
2.5	12/15/23	Preliminary Permit Set
2.6	12/31/23	Fireplace
2.7	2/21/24	Fireplace Plan, Deck Layout
2.8	5/2/24	Framing Details
2.9	3/7/24	Electrical Details

Design:
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Engineering:
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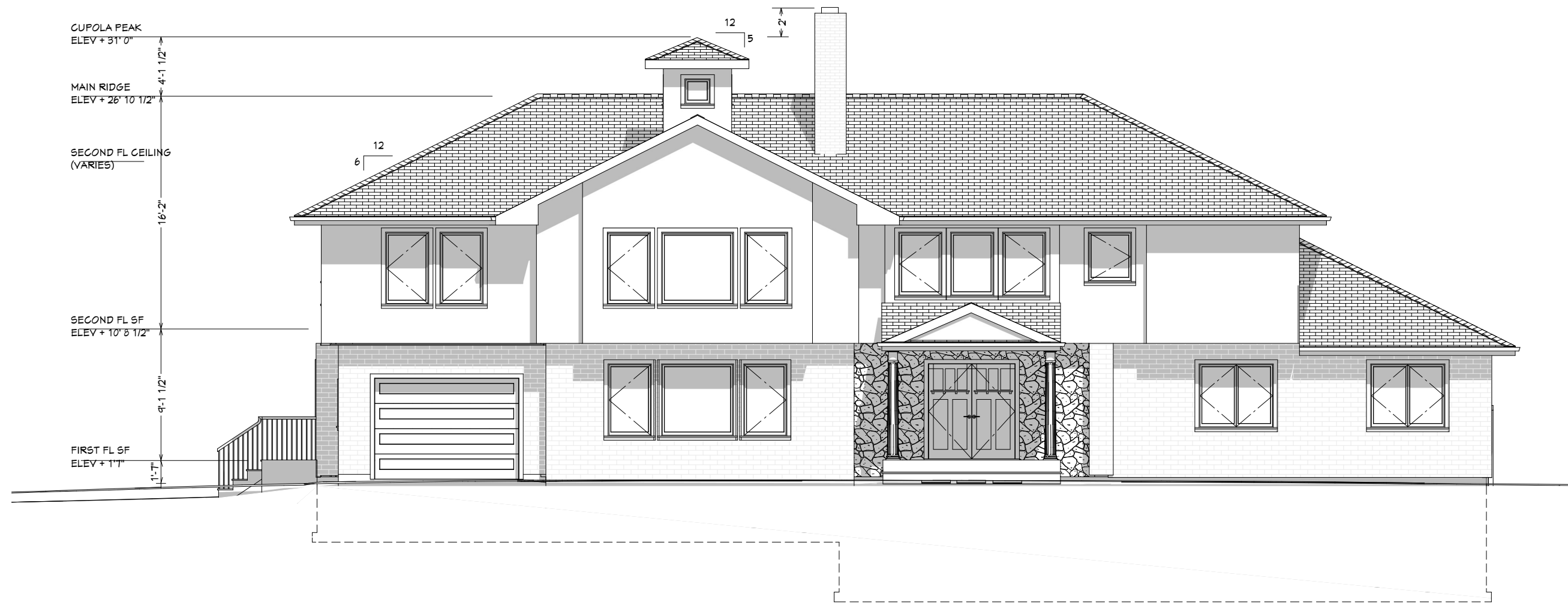
Hourani Residence Renovations

Title:
Second Floor Plan

DATE:
 3/8/2024

SCALE:
 1/4" = 1'

SHEET:
A-102



North Elevation



East Elevation

Recent Revision History

REV	DATE	DESCRIPTION
2.4	4/18/23	Interior Renovations
2.5	12/15/23	Preliminary Permit Set
2.6	12/31/23	Fireplace Permit Set
2.7	2/21/24	Framing Plan, Deck Layout
2.8	3/2/24	Framing Details
2.9	3/17/24	Electrical Details

Design:
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Engineering:
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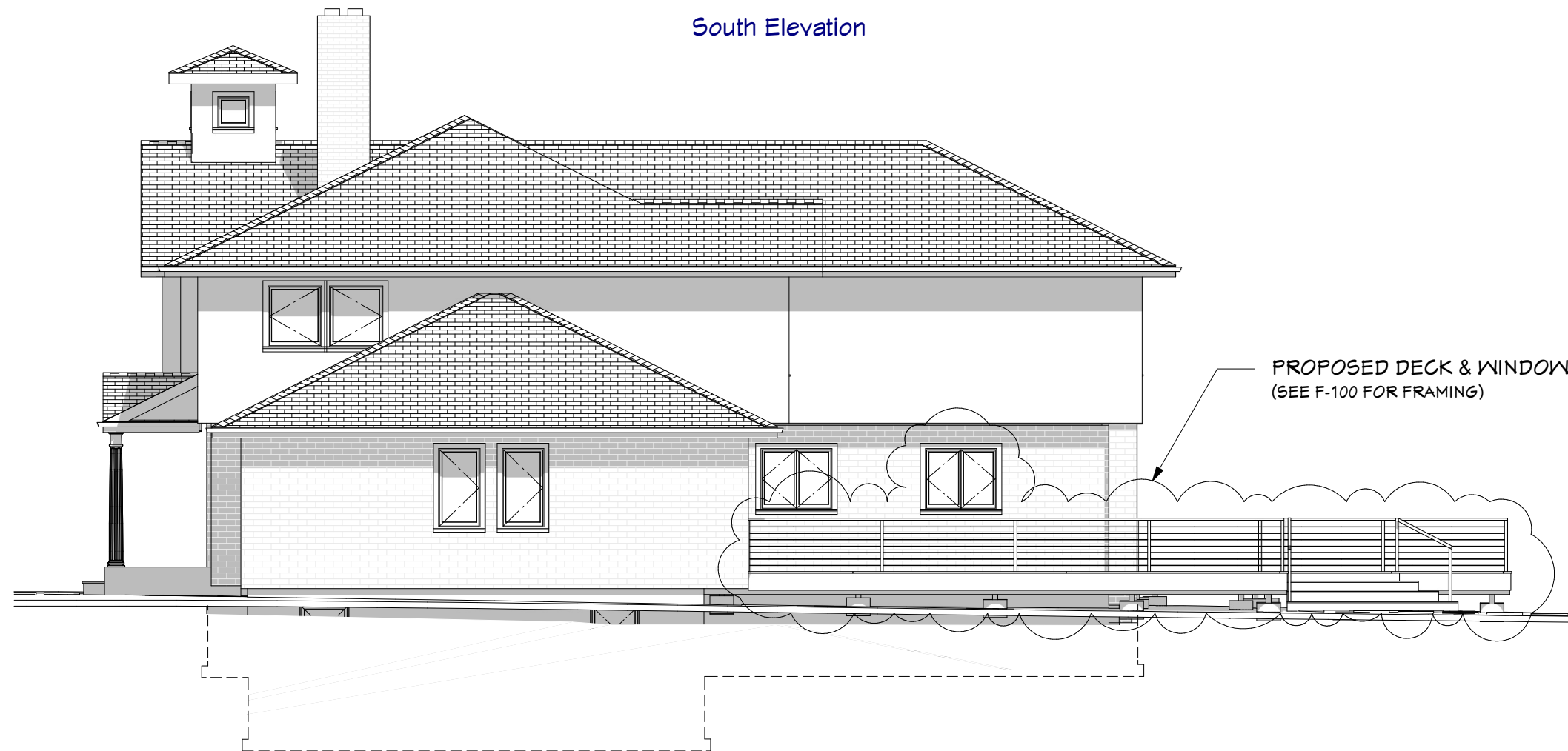
Hourani Residence Renovations

Elevations

Title:
 DATE:
 3/8/2024
 SCALE:
 1/4" = 1'
 SHEET:
A-200



South Elevation



West Elevation

REV	DATE	DESCRIPTION
2.4	4/18/23	Interior Renovations
2.5	12/15/23	Preliminary Permit Set
2.6	12/31/23	Fireplace Permit Set
2.7	2/21/24	Framing Plan, Deck Layout
2.8	3/2/24	Framing Details
2.9	3/7/24	Electrical Details

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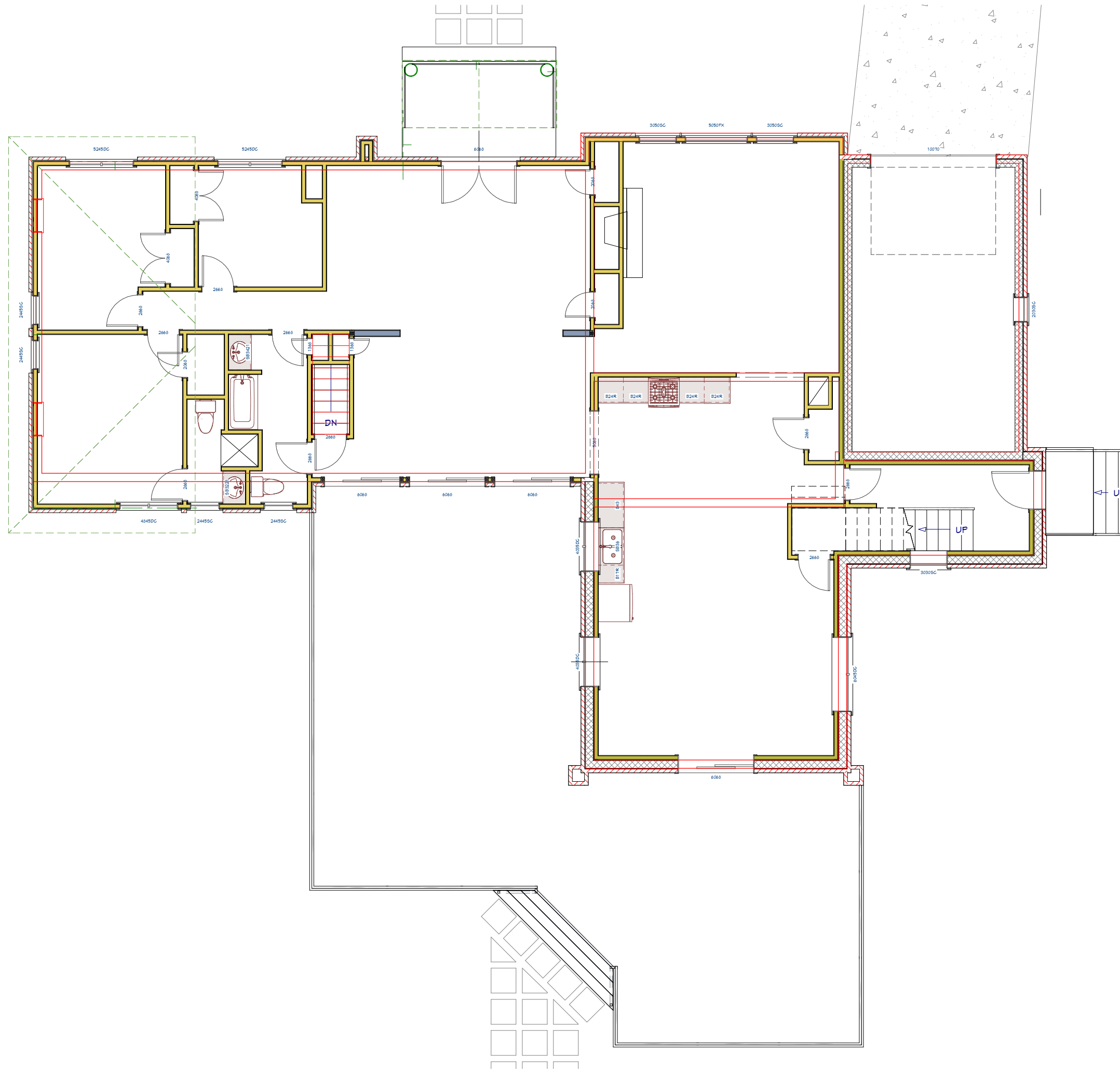
Elevations

Title:

DATE:
3/8/2024

SCALE:
1/4" = 1'

SHEET:
A-201



1st Floor w/Foundation Reference

REV	DATE	DESCRIPTION
2.4	4/18/23	Interior Renovations
2.5	12/15/23	Preliminary Permit Set
2.6	12/31/23	Fireplace
2.7	2/21/24	Fireplace Plan, Deck Layout
2.8	3/2/24	Framing Details
2.9	3/7/24	Electrical Details

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Title: **1st Floor Reference**

DATE:

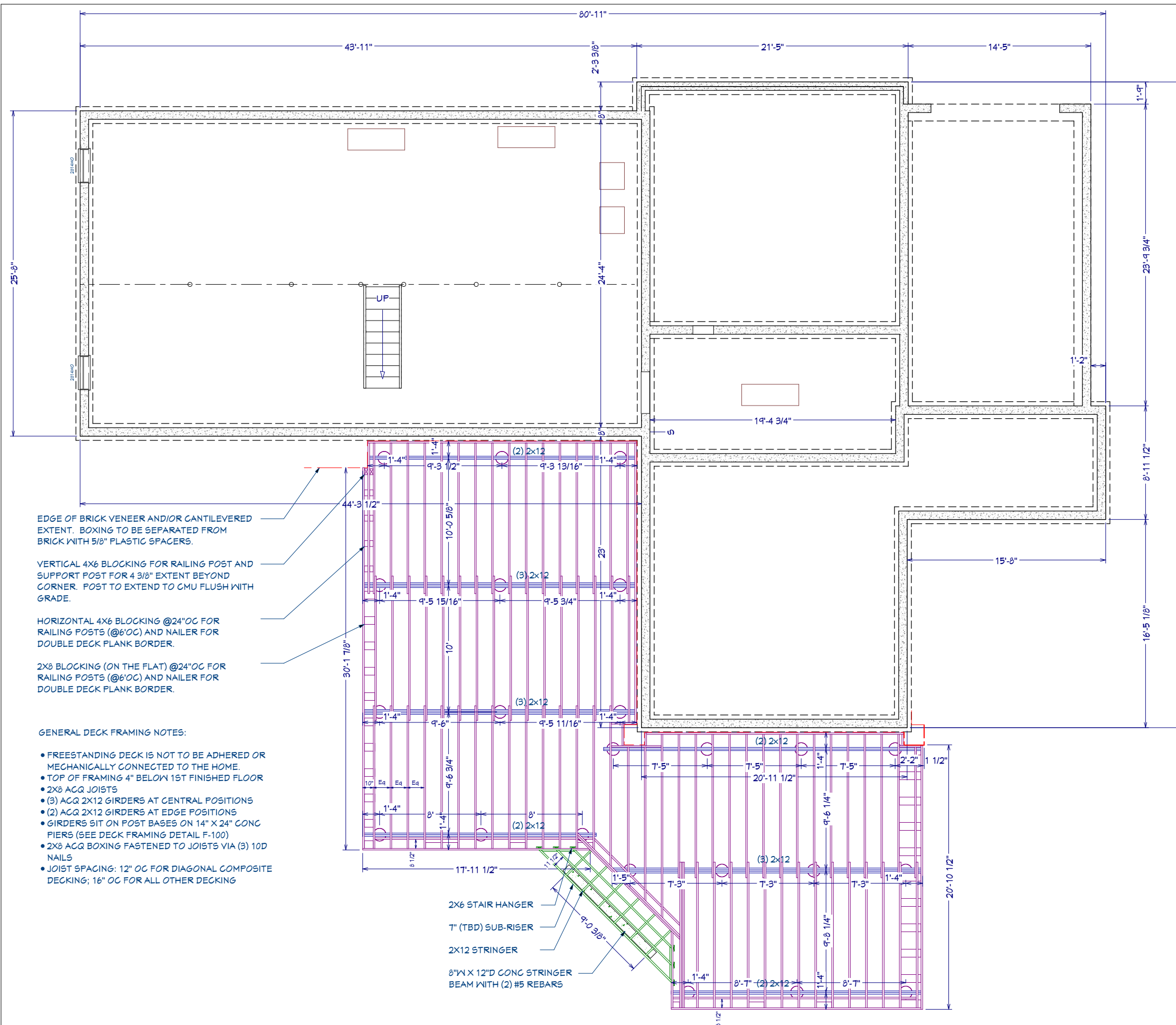
3/8/2024

SCALE:

1/4" = 1'

SHEET:

A-400



Deck Framing Plan Scale: 1/4" = 1'

EDGE OF BRICK VENEER AND/OR CANTILEVERED EXTENT. BOXING TO BE SEPARATED FROM BRICK WITH 5/8" PLASTIC SPACERS.

VERTICAL 4X6 BLOCKING FOR RAILING POST AND SUPPORT POST FOR 4 3/8" EXTENT BEYOND CORNER. POST TO EXTEND TO CMU FLUSH WITH GRADE.

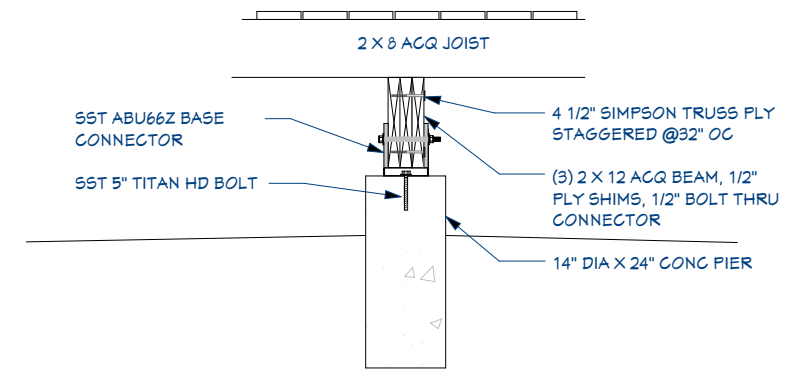
HORIZONTAL 4X6 BLOCKING @24"OC FOR RAILING POSTS (@6"OC) AND NAILER FOR DOUBLE DECK PLANK BORDER.

2X8 BLOCKING (ON THE FLAT) @24"OC FOR RAILING POSTS (@6"OC) AND NAILER FOR DOUBLE DECK PLANK BORDER.

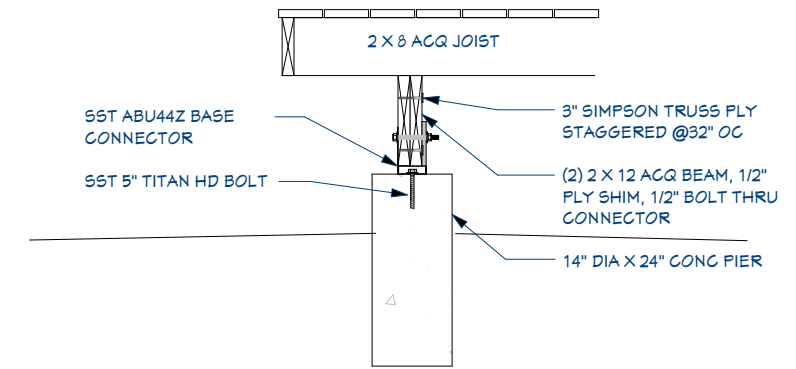
GENERAL DECK FRAMING NOTES:

- FREESTANDING DECK IS NOT TO BE ADHERED OR MECHANICALLY CONNECTED TO THE HOME.
- TOP OF FRAMING 4" BELOW 1ST FINISHED FLOOR
- 2X8 ACQ JOISTS
- (3) ACQ 2X12 GIRDERS AT CENTRAL POSITIONS
- (2) ACQ 2X12 GIRDERS AT EDGE POSITIONS
- GIRDERS SIT ON POST BASES ON 14" X 24" CONG PIERS (SEE DECK FRAMING DETAIL F-100)
- 2X8 ACQ BOXING FASTENED TO JOISTS VIA (3) 10D NAILS
- JOIST SPACING: 12" OC FOR DIAGONAL COMPOSITE DECKING; 16" OC FOR ALL OTHER DECKING

- 2X6 STAIR HANGER
- 7" (TBD) SUB-RISER
- 2X12 STRINGER
- 8"X 12"D CONG STRINGER BEAM WITH (2) #5 REBARS



Detail: Central Girder Scale: 1" = 1'



Detail: Edge Girder Scale: 1" = 1'

REV	DATE	DESCRIPTION
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Title:
Hourani Residence Renovations
Deck Foundation Framing Plan

DATE:
 3/8/2024

SCALE:

SHEET:
F-100